

Village of Maywood Zoning Reference Guide

June 2019

Funding Acknowledgement

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How to Use This Guide

The Village of Maywood Zoning Reference Guide is intended as a general guide to users of the Village's Zoning Ordinance. It is not a substitute for any adopted ordinances or codes, but rather summarizes information found in the Zoning Ordinance to assist the user in understanding the regulations. If any conflict exists between this guide and the regulations found in the Village's Municipal Code, the Municipal Code regulations apply.

This reference guide illustrates each zoning district's requirements via three different graphics: (1) a bulk and yard regulations table, (2) a plan-view graphic, and (3) a 3-D graphic, and also presents diagrams to help clarify regulations in other sections of the Zoning Ordinance, including on-site development standards, off-street parking and loading, renewable energy systems such as wind turbines and solar panels, and signs. Refer to the [Village of Maywood Zoning Ordinance](#) for a full listing of development standards, and the specific references below for information and further regulations regarding particular topics. If you need additional assistance interpreting the requirements, contact the Village's Department of Community Development by phone (708-450-4405).

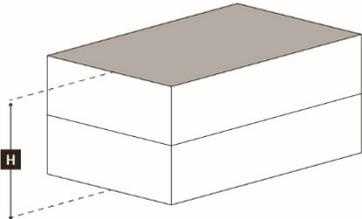
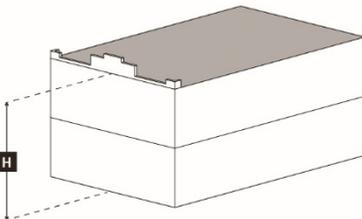
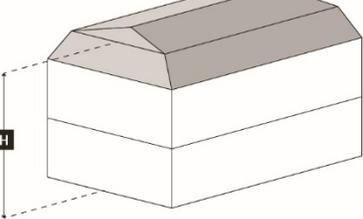
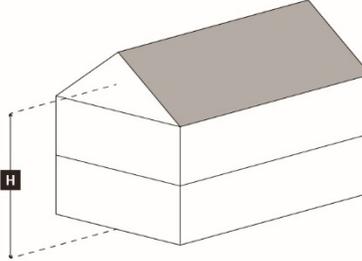
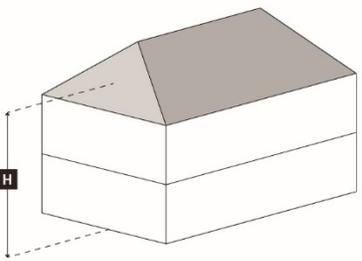
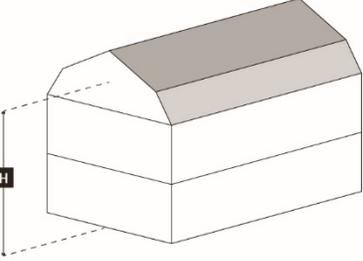
For a full listing of development standards, refer to the following sections of the Zoning Ordinance:

- Definitions
See Section 17
- Zoning Districts
See Section 7 – Residential Zoning Districts
See Section 8 – Commercial Zoning Districts
See Section 9 – Office Park and Manufacturing Zoning Districts
- Fences
See Section 12.4-C
- Garages
See Section 12.4-D
- Driveways
See Section 13.7-C
- Renewable Energy Systems
See Section 12.4-L – Solar Panels
See Section 12.4-N – Wind Turbines
- Signs
See Section 15

Definitions

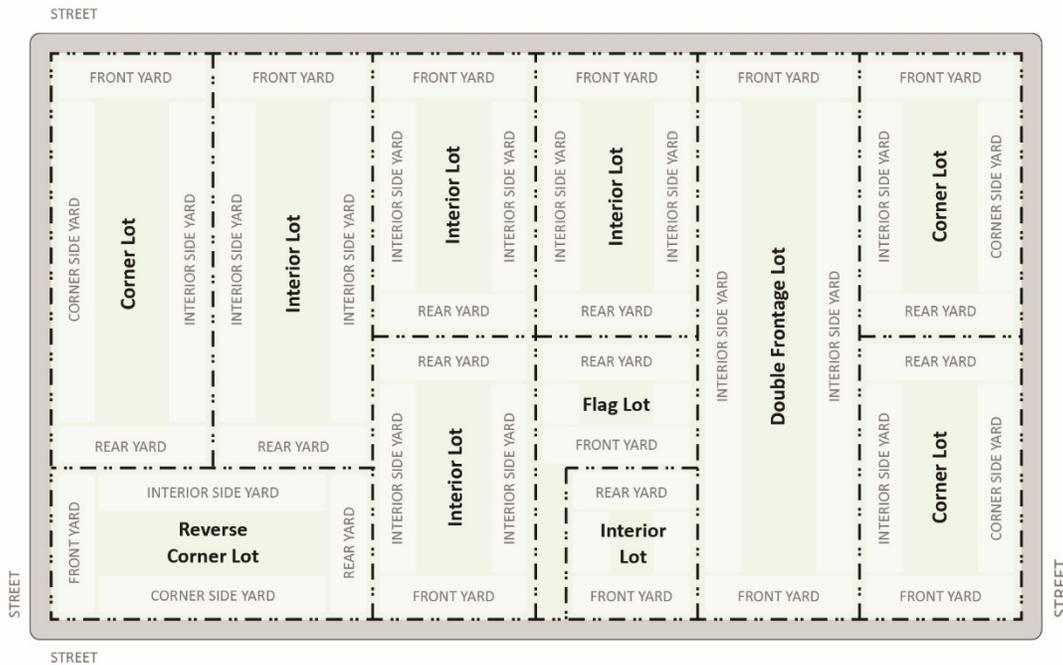
See Section 17 of Village of Maywood Zoning Ordinance

This section defines the terms used throughout this reference guide.

Accessory Structure		
A structure located on the same lot with the principal building and is customarily incidental and subordinate to the use of the principal building.		
Accessory Use		
A use that is customarily incidental and subordinate to the principal use of a lot or the main building thereon and located on the same lot as the principal use or building.		
Building Height, Accessory Structure		
The vertical distance measured from the established average finished grade to the highest point of the roof or the highest point of the structure.		
Building Height, Principal Building		
<p>The vertical distance measured from grade:</p> <ol style="list-style-type: none"> 1. In the case of a flat roof, to the highest point. 2. In the case of a mansard roof, to the deck line. 3. In the case of a gable, hip or gambrel roof, to the mean point between the eaves and the ridge. Where there is more than one (1) peak, building height shall be measured as described between the highest peak and the highest eaves. 	<p>Chimneys, spires, steeples, towers, elevator penthouses, tanks, parapet walls, cooling towers, stacks, stair enclosures that do not contain occupied space, and necessary mechanical appurtenances and similar projections other than signs shall not be included in calculating the height.</p>	
<p>Flat Roof</p> 	<p>Parapet Roof</p> 	<p>Mansard Roof</p> 
<p>Gable Roof</p> 	<p>Hip Roof</p> 	<p>Gambrel Roof</p> 

Driveway
A paved or unpaved access strip of land providing a vehicular connector between the street and a parking space or garage.
Fence
An artificially constructed barrier of wood, masonry, stone, wire, metal or other combination of materials erected to enclose, screen or separate areas.
Garage
A building, either attached or detached, used or designed to be used for the parking and storage of vehicles by those resident upon the premises.
Principal Building
A non-accessory building in which a principal use of the lot on which it is located is conducted.
Principal Use
The main use of land or structure as distinguished from an accessory use.
Setbacks
The minimum distance a building, structure or other improvement is located from a lot line.
Yard, Corner Side
The required minimum distance a building or structure, or other improvement on a lot, must be located from a corner side lot line. The corner side yard extends along the corner side lot line between the front yard and the rear lot line, for the required minimum depth, as specified for the district in which such lot is located, measured perpendicular to the corner side lot line.
Yard, Front
The required minimum distance a building or structure, or other improvement on a lot, must be located from a front lot line. The front yard extends the full width of the lot between side lot lines for the required minimum depth, as specified by the zoning district in which such lot is located, measured perpendicular to the front lot line. Front doors and addresses do not regulate what is the front yard as it relates to Zoning.
Yard, Interior Side
The required minimum distance a building or structure, or other improvement on a lot, must be located from an interior side lot line. The interior side yard extends along an interior side lot line between the front and rear yards, for the required minimum depth, as specified for the district in which such lot is located, measured perpendicular to the interior side lot line.
Yard, Rear
The required minimum distance a building or structure, or other improvement on a lot, must be located from a rear lot line. The rear yard extends between the side lot lines for the required minimum depth, as specified by the zoning district in which such lot is located, measured perpendicular to the rear lot line.

Lot Types



Lot, Corner: A lot situated at the junction of, and abutting on, two (2) or more intersecting streets.

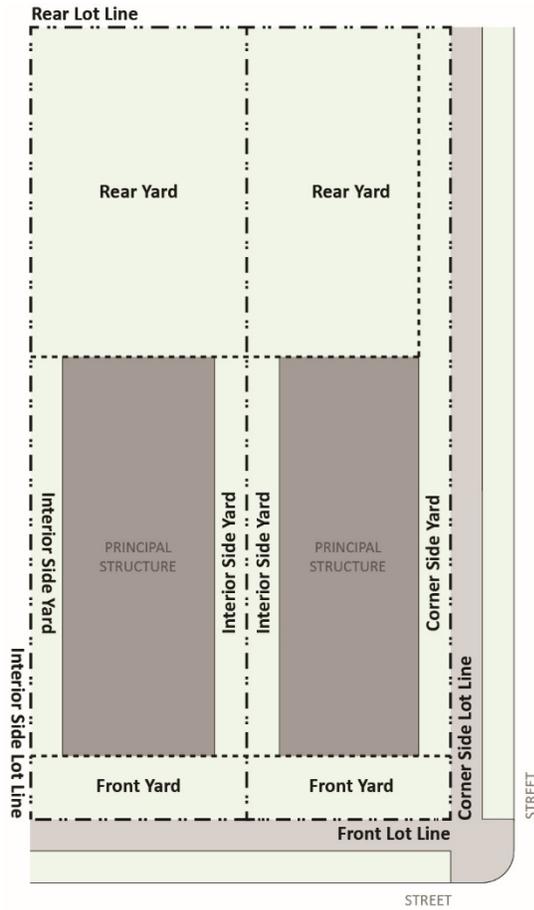
Lot, Double Frontage: A lot having frontage on two (2) nonintersecting streets.

Lot, Interior: A lot other than a corner lot or a through lot (see “Lot, Double Frontage”).

Lot, Reverse Corner: A corner lot, the street side lot line of which is substantially a continuation of the front lot line of the first lot to its rear.

Lot, Flag: A lot that does not meet the minimum street frontage requirements, but is connected to the street by an access strip of less than the required minimum lot width. Such lots are generally configured in the shape of a flag, where the strip of land providing access forms the pole of the flag and the lot that is separated from the street forms the flag.

Lot Lines



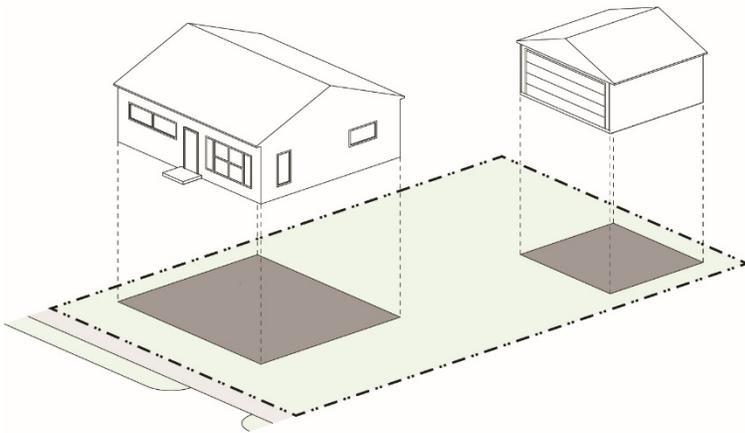
Lot Line, Corner Side: The lot line that is perpendicular or approximately perpendicular to the front lot line, which separates the longest street frontage of a corner lot from the street.

Lot Line, Front: The lot line that abuts a street. For the purposes of this Ordinance, the "Front Lot Line" of a corner lot shall be the shortest street frontage of the lot. In the case of interior lots with irregularly shaped "Front Lot Lines," the entire length of the lot line that abuts a street shall be considered the "Front Lot Line."

Lot Line, Interior Side: The lot line that is not abutting a street and is not a rear lot line.

Lot Line, Rear: The lot line that is most distant from and is, or is approximately, parallel to the front lot line.

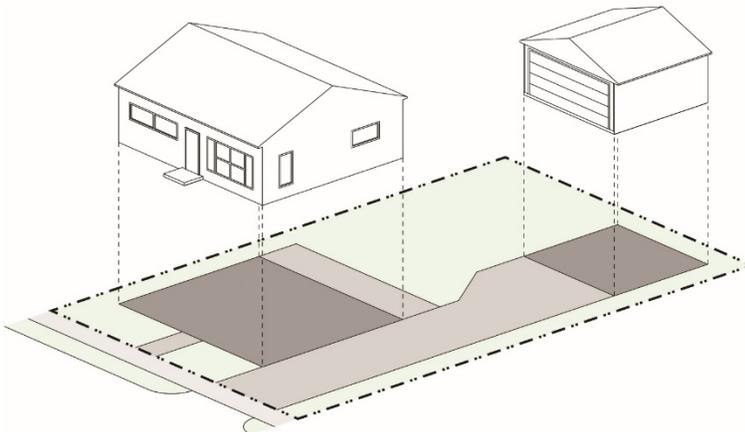
Lot Coverage



$$\text{Building Coverage} = \frac{\text{Total Area of Structural Footprint(s)}}{\text{Total Lot Area}}$$

Building Coverage:

The portion of a lot that is occupied by buildings or structures, including accessory structures, expressed as a percentage of total lot area.



$$\text{Impervious Surface Coverage} = \frac{\text{Total Area of Structural Footprint(s) and Other Impervious Surfaces}}{\text{Total Lot Area}}$$

Impervious Surface Coverage:

A measurement of development intensity determined by dividing that area of a lot which is occupied by impervious surface by the gross area of the lot.

Zoning Districts

R-1 Single-Family Residential Zoning District

See Section 7 of Village of Maywood Zoning Ordinance

Purpose Statement

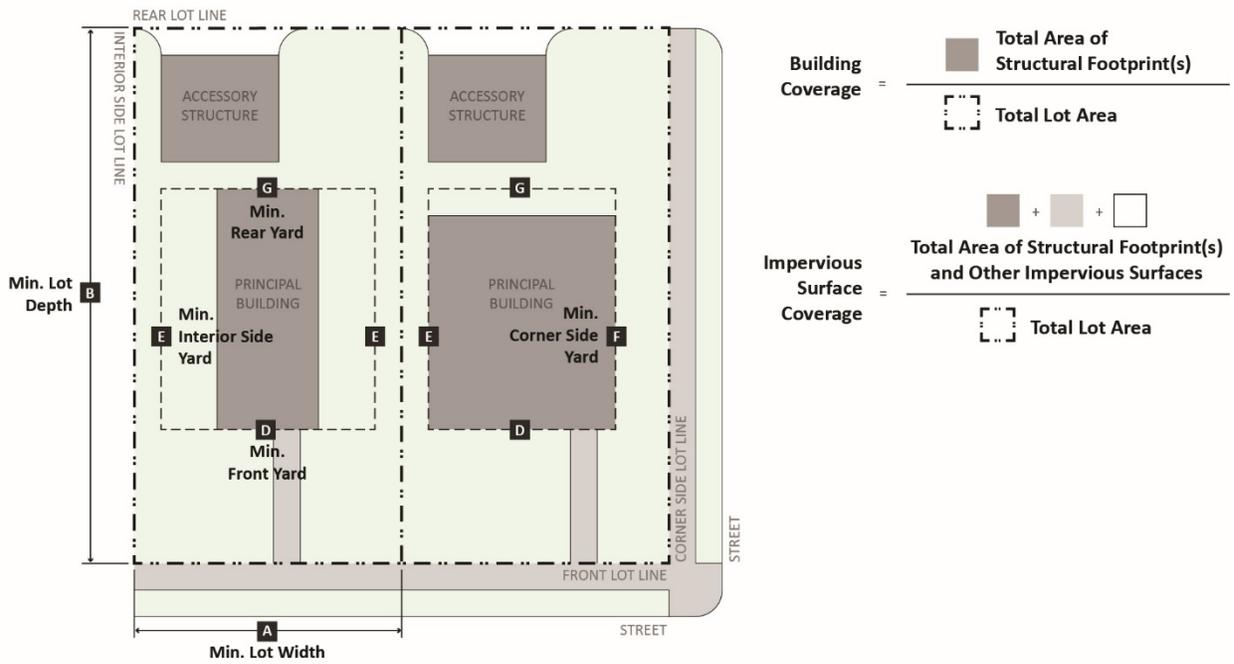
The R-1 Single-Family Residential Zoning District is intended for those areas of single-family homes located upon slightly larger zoning lots than those typical to the Village. Limited non-residential uses that are compatible with surrounding residential neighborhoods may be permitted.

R-1 District Bulk and Yard Regulations

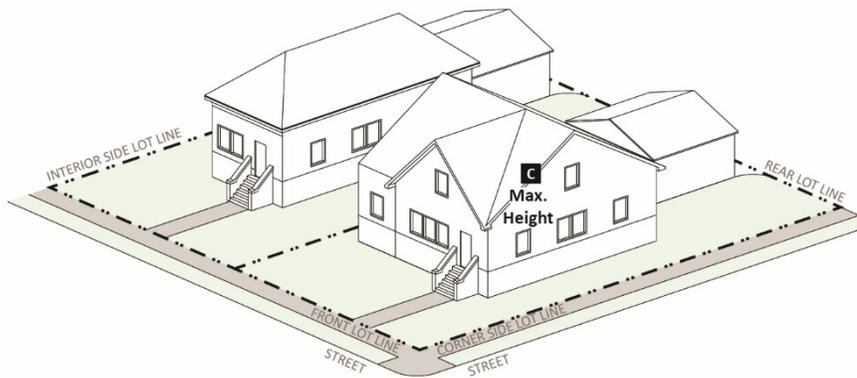
See Table 7.2: Residential Zoning Districts Bulk and Yard Regulations

Bulk Regulations		
	Minimum Lot Area	5,000 sq ft
A	Minimum Lot Width	50 ft
B	Minimum Lot Depth	90 ft
C	Maximum Principal Building Height	35 ft, no more than 2.5 stories
	Maximum Building Coverage	30% (interior lot), 35% (corner lot)
	Maximum Impervious Surface Coverage	50%
Yard Regulations		
D	Minimum Front Yard	25 ft
E	Minimum Interior Side Yard	10% of lot width, minimum 3 ft
F	Minimum Corner Side Yard	10 ft
G	Minimum Rear Yard	30 ft

R-1 District Bulk and Yard Regulations: Plan View



R-1 District Bulk and Yard Regulations: 3-D View



R-2 Single-Family Residential Zoning District

See Section 7 of Village of Maywood Zoning Ordinance

Purpose Statement

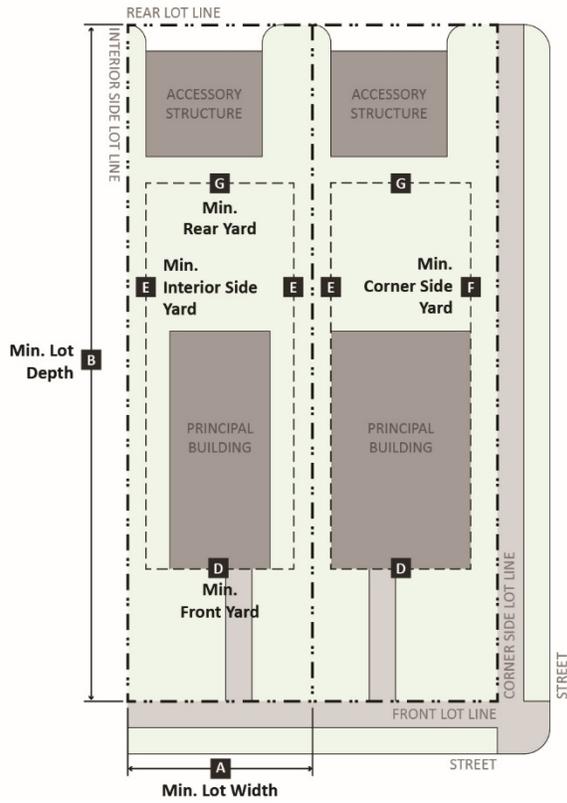
The R-2 Single-Family Residential Zoning District is intended for those areas of single-family homes located upon zoning lots typical to single-family housing within the Village. Limited nonresidential uses that are compatible with surrounding residential neighborhoods may be permitted.

R-2 District Bulk and Yard Regulations

See Table 7.2: Residential Zoning Districts Bulk and Yard Regulations

Bulk Regulations		
	Minimum Lot Area	4,500 sq ft
A	Minimum Lot Width	35 ft
B	Minimum Lot Depth	90 ft
C	Maximum Principal Building Height	35 ft, no more than 2.5 stories
	Maximum Building Coverage	30% (interior lot), 35% (corner lot)
	Maximum Impervious Surface Coverage	50%
Yard Regulations		
D	Minimum Front Yard	25 ft
E	Minimum Interior Side Yard	10% of lot width, minimum 3 ft
F	Minimum Corner Side Yard	5 ft
G	Minimum Rear Yard	30 ft

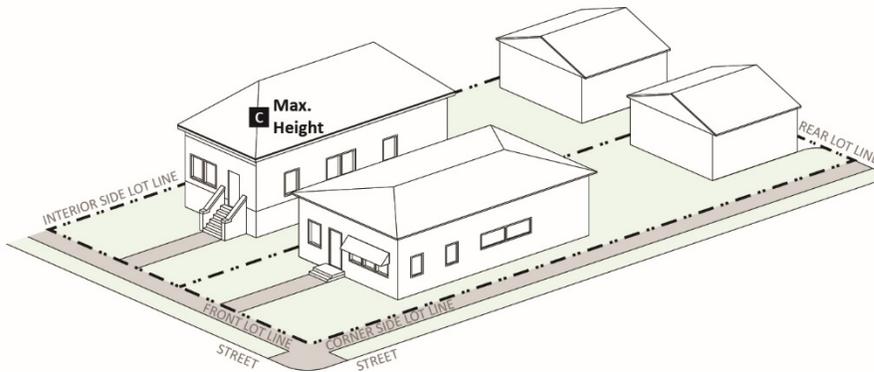
R-2 District Bulk and Yard Regulations: Plan View



$$\text{Building Coverage} = \frac{\text{Total Area of Structural Footprint(s)}}{\text{Total Lot Area}}$$

$$\text{Impervious Surface Coverage} = \frac{\text{Total Area of Structural Footprint(s) and Other Impervious Surfaces}}{\text{Total Lot Area}}$$

R-2 District Bulk and Yard Regulations: 3-D View



R-3 Two-Family Residential Zoning District

See Section 7 of Village of Maywood Zoning Ordinance

Purpose Statement

The R-3 Two-Family Residential Zoning District is intended for areas of moderate density where single-family and two-family dwellings are located, similar in dimension to the typical lot size for single-family housing within the community. Limited non-residential uses that are compatible with surrounding residential neighborhoods may be permitted.

R-3 District Bulk and Yard Regulations

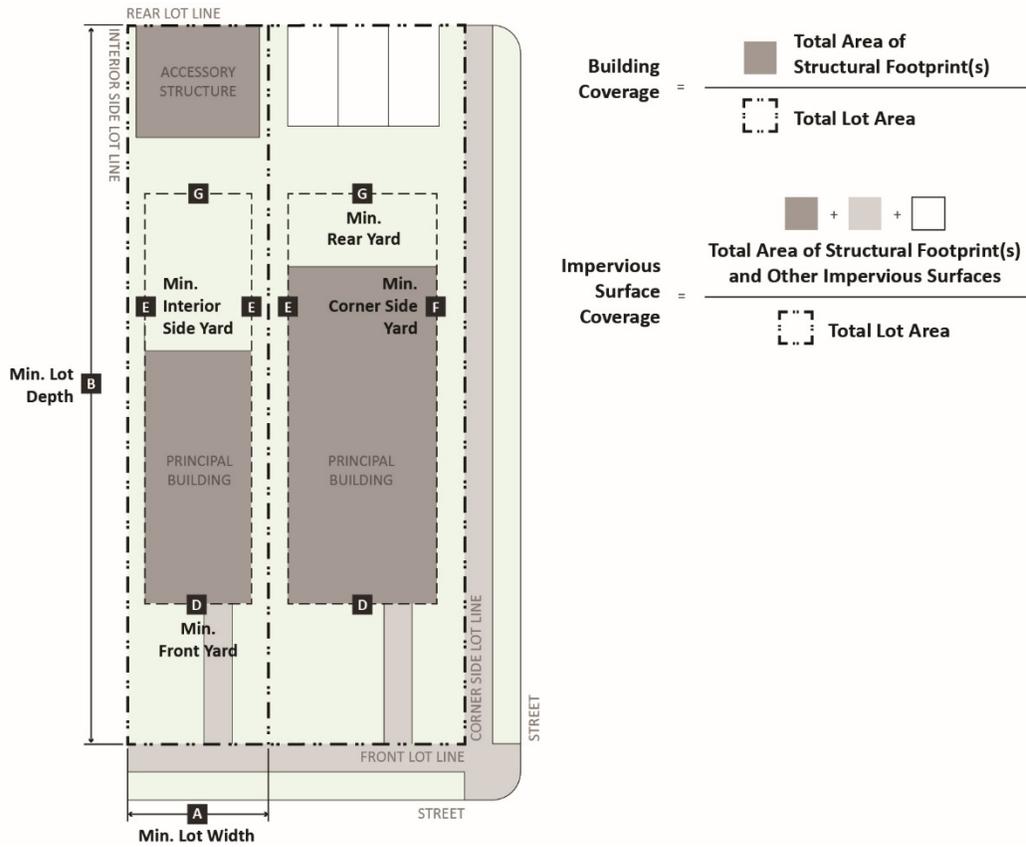
See Table 7.2: Residential Zoning Districts Bulk and Yard Regulations

Bulk Regulations		Single-Family	Two-Family
	Minimum Lot Area ¹	3,125 sq ft	4,500 sq ft
A	Minimum Lot Width ²	25 ft	35 ft
B	Minimum Lot Depth	90 ft	90 ft
C	Maximum Principal Building Height	35 ft, no more than 2.5 stories	35 ft, no more than 2.5 stories
	Maximum Building Coverage	30% (interior lot), 35% (corner lot)	30% (interior lot), 35% (corner lot)
	Maximum Impervious Surface Coverage	50%	50%
Yard Regulations		Single-Family	Two-Family
D	Minimum Front Yard	25 ft	25 ft
E	Minimum Interior Side Yard	10% of lot width, minimum 3 ft	10% of lot width, minimum 3 ft
F	Minimum Corner Side Yard	5 ft	5 ft
G	Minimum Rear Yard	30 ft	30 ft

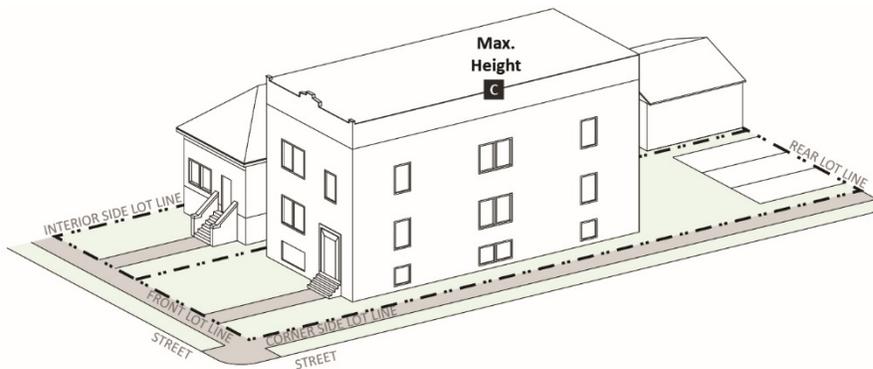
¹Any new lots created by subdivision must be a minimum of 4,500 sq ft;

²Any new lots created by subdivision must have a minimum lot width of 35 ft.

R-3 District Bulk and Yard Regulations: Plan View



R-3 District Bulk and Yard Regulations: 3-D View



R-4 Multi-Family Residential Zoning District

See Section 7 of Village of Maywood Zoning Ordinance

Purpose Statement

The R-4 Multi-Family Residential Zoning District is intended to create a moderate density environment of single-family, two-family, townhouse and multi-family dwellings of up to six dwelling units. This district may function as a transition zone between single-family neighborhoods and adjacent higher intensity land uses. Limited non-residential uses that are compatible with surrounding residential neighborhoods may be permitted.

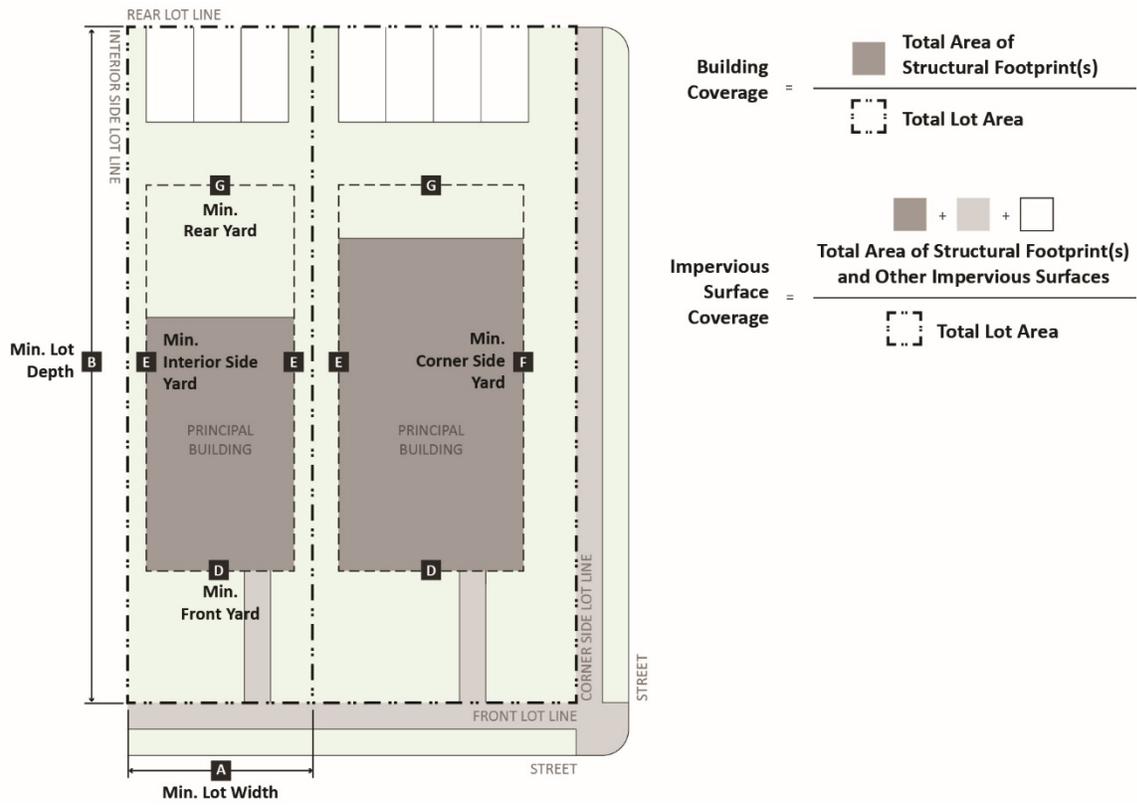
R-4 District Bulk and Yard Regulations

See Table 7.2: Residential Zoning Districts Bulk and Yard Regulations

Bulk Regulations		Single-Family	Two-Family	Townhouse	Multi-Family
	Minimum Lot Area	4,500 sq ft	4,500 sq ft	1,500 sq ft/ dwelling unit	1,500 sq ft/ dwelling unit ¹
A	Minimum Lot Width	35 ft	35 ft	15 ft/ dwelling unit	50 ft
B	Minimum Lot Depth	90 ft	90 ft	90 ft	90 ft
C	Maximum Principal Building Height	35 ft, no more than 2.5 stories	35 ft, no more than 2.5 stories	35 ft, no more than 2.5 stories	45 ft, no more than 4 stories
	Maximum Building Coverage	30% (interior lot), 35% (corner lot)	30% (interior lot), 35% (corner lot)	40%	60%
	Maximum Impervious Surface Coverage	50%	50%	-	-
Yard Regulations		Single-Family	Two-Family	Townhouse	Multi-Family
D	Minimum Front Yard	25 ft	25 ft	25 ft	25 ft
E	Minimum Interior Side Yard	10% of lot width, minimum 3 ft	10% of lot width, minimum 3 ft	10% of lot width or 10 ft (whichever is less), minimum 5 ft	10% of lot width or 10 ft (whichever is less), minimum 5 ft
F	Minimum Corner Side Yard	5 ft	5 ft	10 ft	10 ft
G	Minimum Rear Yard	30 ft	30 ft	30 ft	30 ft

¹Multi-family up to 6 dwelling units.

R-4 District Bulk and Yard Regulations: Plan View



R-4 District Bulk and Yard Regulations: 3-D View



R-5 Multi-Family Residential Zoning District

See Section 7 of Village of Maywood Zoning Ordinance

Purpose Statement

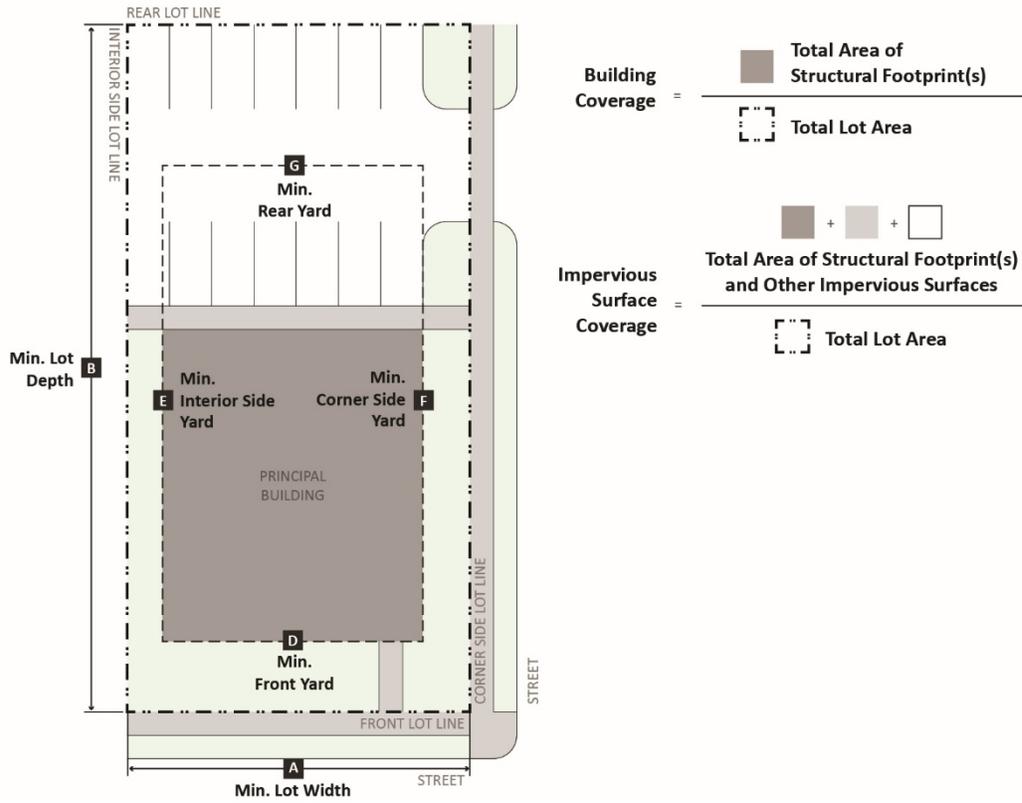
The R-5 Multi-Family Residential Zoning District is intended to create a higher density environment of multi-family dwellings and townhomes. Such areas may function as a transition zone between residential neighborhoods and adjacent higher intensity and non-residential land uses. Limited non-residential uses that are compatible with surrounding residential neighborhoods may be permitted.

R-5 District Bulk and Yard Regulations

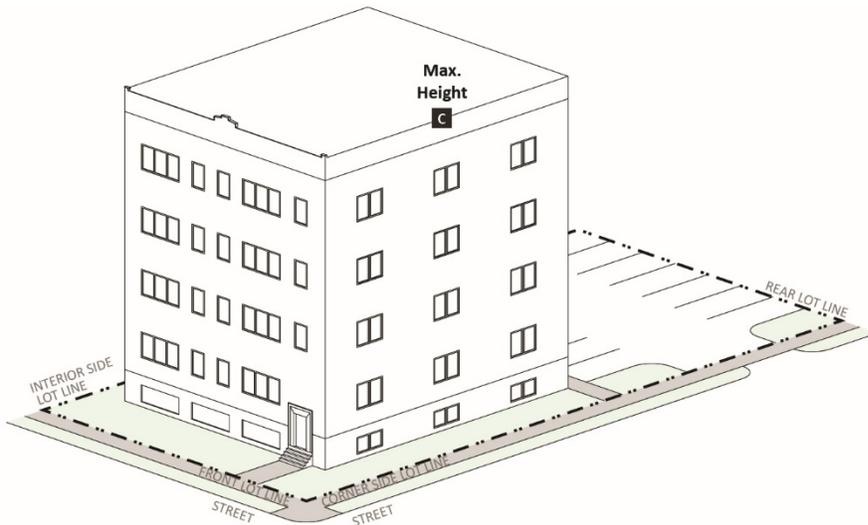
See Table 7.2: Residential Zoning Districts Bulk and Yard Regulations

Bulk Regulations		Single-Family	Two-Family	Townhouse	Multi-Family
	Minimum Lot Area	4,500 sq ft	4,500 sq ft	1,200 sq ft/ dwelling unit	800 sq ft/ dwelling unit
A	Minimum Lot Width	35 ft	35 ft	12 ft/ dwelling unit	50 ft
B	Minimum Lot Depth	90 ft	90 ft	90 ft	90 ft
C	Maximum Principal Building Height	35 ft, no more than 2.5 stories	35 ft, no more than 2.5 stories	35 ft, no more than 2.5 stories	65 ft, no more than 6 stories
	Maximum Building Coverage	30% (interior lot), 35% (corner lot)	30% (interior lot), 35% (corner lot)	40%	65%
	Maximum Impervious Surface Coverage	50%	50%	-	70%
Yard Regulations		Single-Family	Two-Family	Townhouse	Multi-Family
D	Minimum Front Yard	15 ft	15 ft	15 ft	15 ft
E	Minimum Interior Side Yard	10% of lot width, minimum 3 ft	10% of lot width, minimum 3 ft	10% of lot width or 10 ft (whichever is less), minimum 5 ft	10% of lot width or 10 ft (whichever is less), minimum 5 ft
F	Minimum Corner Side Yard	5 ft	5 ft	10 ft	-
G	Minimum Rear Yard	30 ft	30 ft	30 ft	30 ft

R-5 District Bulk and Yard Regulations: Plan View



R-5 District Bulk and Yard Regulations: 3-D View



C-1 Local Commercial Zoning District

See Section 8 of Village of Maywood Zoning Ordinance

Purpose Statement

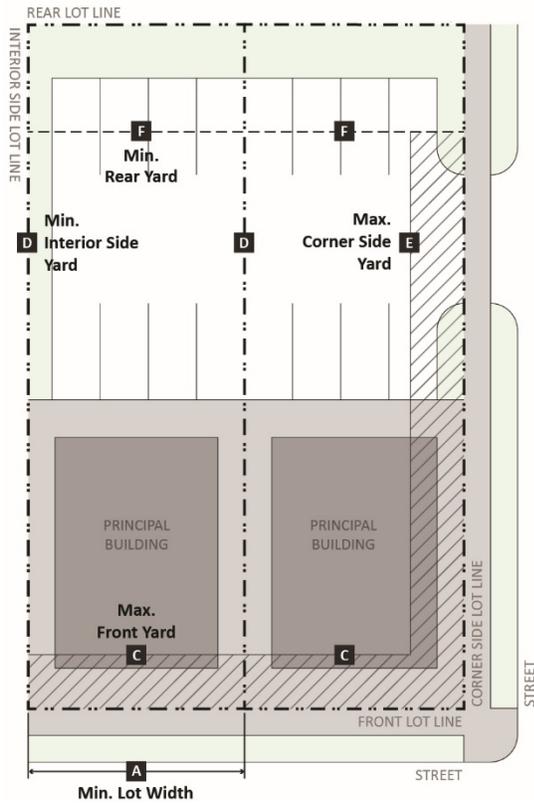
The C-1 Local Commercial District is intended to provide primarily for retail uses, personal service uses, and professional offices. The district is intended for application where there exists a grouping of commercial uses that are neighborhood-serving, pedestrian-oriented and where residential areas are in close proximity. The district regulations are designed to encourage compatibility with adjacent or nearby land uses.

C-1 District Bulk and Yard Regulations

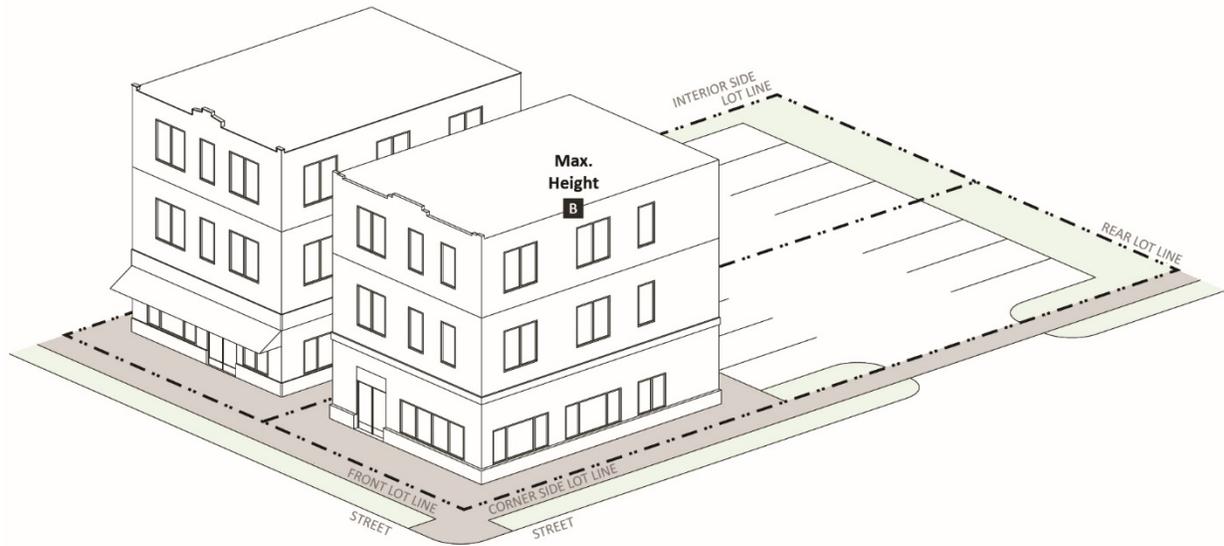
See Table 8.2: Commercial District Bulk and Yard Regulations

Bulk Regulations		
	Minimum Lot Area	1,000 sq ft/dwelling unit (residential) None (non-residential)
A	Minimum Lot Width	None
B	Maximum Principal Building Height	35 ft, no more than 3 stories
	Design Standards	See Commercial District Design Standards
Yard Regulations		
C	Maximum Front Yard	10 ft
D	Minimum Interior Side Yard	None
E	Maximum Corner Side Yard	10 ft
F	Minimum Rear Yard	20 ft if building is over 2 stories or non-residential rear lot line is shared by a rear or side lot line of a residential district. Otherwise, none

C-1 District Bulk and Yard Regulations: Plan View



C-1 District Bulk and Yard Regulations: 3-D View



C-2 Pedestrian-Oriented Commercial District

See Section 8 of Village of Maywood Zoning Ordinance

Purpose Statement

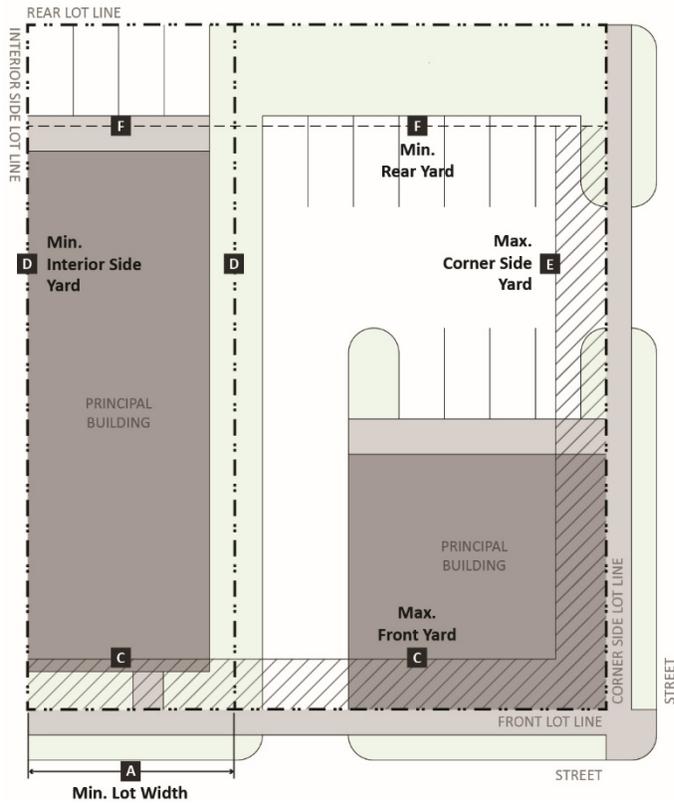
The C-2 Pedestrian-Oriented Commercial District is intended to provide for transit-oriented development at areas near public transit and pedestrian-oriented commercial corridor areas, such as that within the Village’s Downtown. Standards for the C-2 District are designed to maintain and enhance the appearance of these areas, maintain a pedestrian-oriented environment, encourage a range of uses both commercial and residential, and provide adequate buffering for residential neighborhoods adjacent to the district.

C-2 District Bulk and Yard Regulations

See Table 8.2: Commercial District Bulk and Yard Regulations

Bulk Regulations		
	Minimum Lot Area	1,000 sq ft/dwelling unit (residential) None (non-residential)
A	Minimum Lot Width	None
B	Maximum Principal Building Height	40 ft, no more than 3 stories
	Design Standards	See Commercial District Design Standards
Yard Regulations		
C	Maximum Front Yard	10 ft
D	Minimum Interior Side Yard	None
E	Maximum Corner Side Yard	10 ft
F	Minimum Rear Yard	20 ft if building is over 2 stories or non-residential rear lot line is shared by a rear or side lot line of a residential district. Otherwise, none

C-2 District Bulk and Yard Regulations: Plan View



C-2 District Bulk and Yard Regulations: 3-D View



C-3 General Commercial Zoning District

See Section 8 of Village of Maywood Zoning Ordinance

Purpose Statement

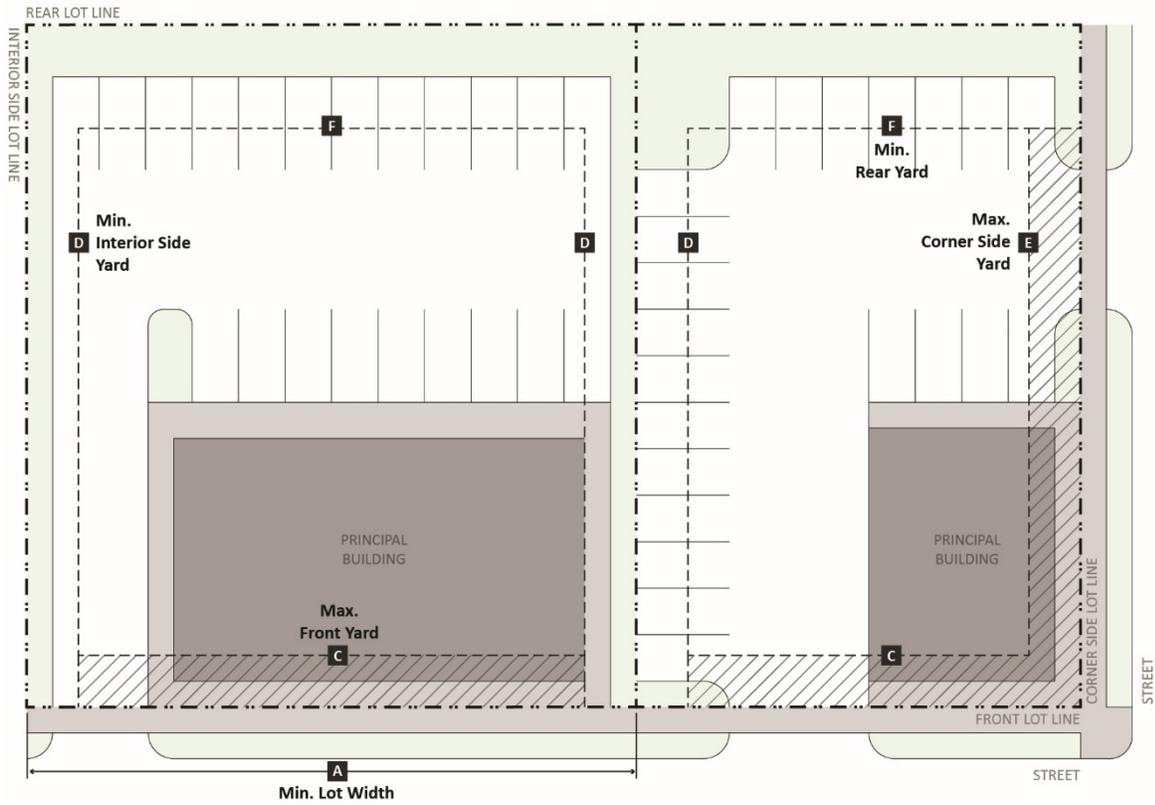
The C-3 General Commercial District is intended to provide sufficient space in appropriate locations for a variety of retail uses, personal service uses, and professional offices, generally serving a wider area. While pedestrian-friendly environments are encouraged, the C-3 District is designed to accommodate auto-oriented commercial uses, including hotels and retail, which may require significant parking.

C-3 District Bulk and Yard Regulations

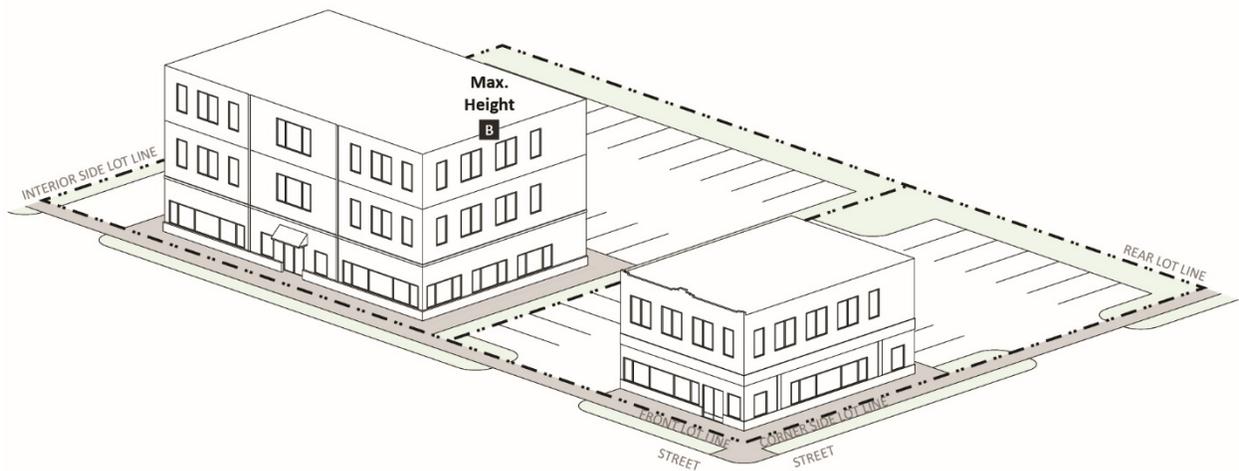
See Table 8.2: Commercial District Bulk and Yard Regulations

Bulk Regulations		
	Minimum Lot Area	1,000 sq ft/dwelling unit (residential) None (non-residential)
A	Minimum Lot Width	None
B	Maximum Principal Building Height	40 ft, no more than 3 stories
	Design Standards	See Commercial District Design Standards
Yard Regulations		
C	Maximum Front Yard	10 ft
D	Minimum Interior Side Yard	10 ft
E	Maximum Corner Side Yard	10 ft
F	Minimum Rear Yard	20 ft

C-3 District Bulk and Yard Regulations: Plan View



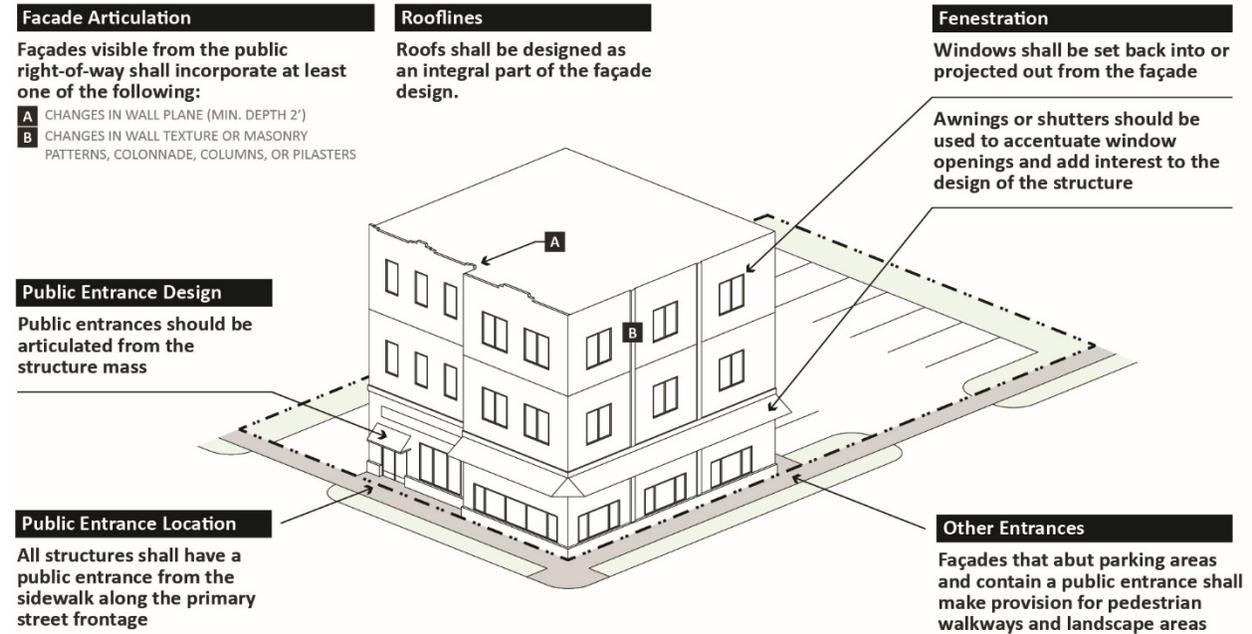
C-3 District Bulk and Yard Regulations: 3-D View



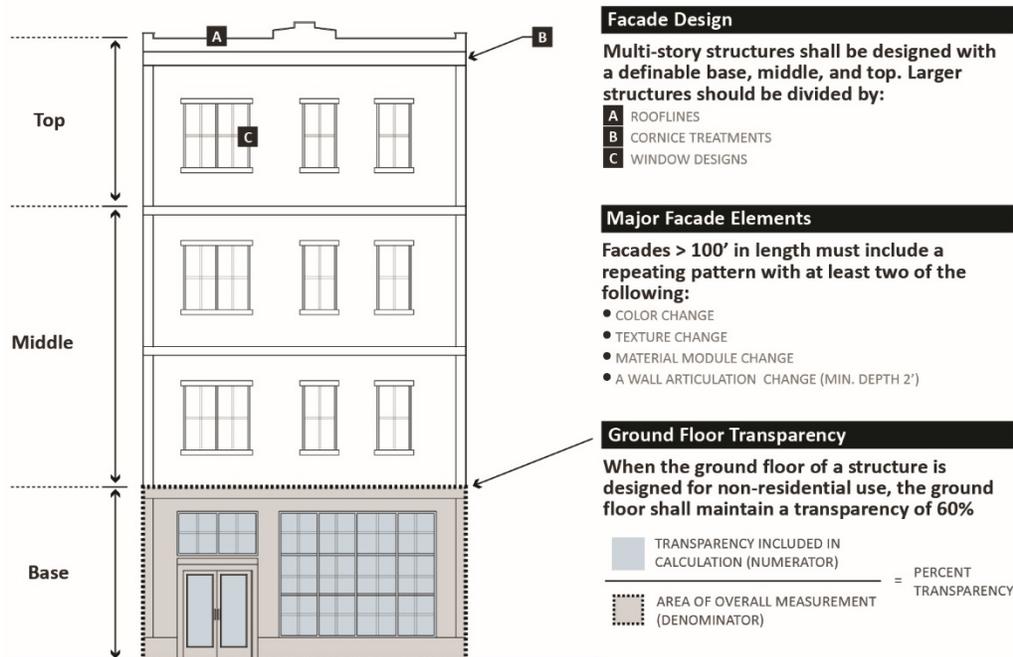
Commercial District Design Standards

See Section 8.4 of Village of Maywood Zoning Ordinance for additional design standards, including building materials and façade colors

Façade Articulation, Fenestration, Rooflines, and Entrances: 3-D View



Façade Articulation, Fenestration, and Rooflines: Elevation View



BIP Business Industrial Park/Flex Zoning District

See Section 9 of Village of Maywood Zoning Ordinance

Purpose Statement

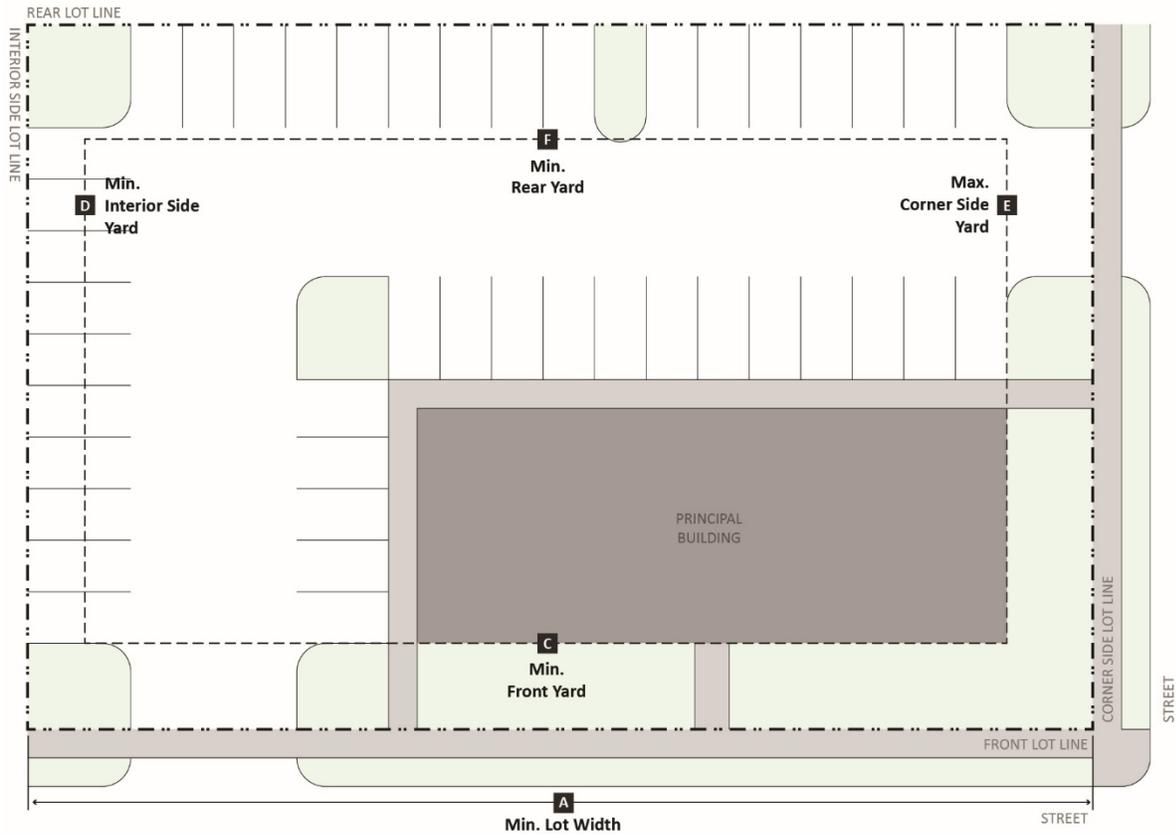
The purpose of the BIP Business Industrial Park/Flex Zoning District is to accommodate developments of office structures, light manufacturing, warehousing/distribution, contractor/landscaping yards, and auto-oriented uses. This District is intended to accommodate office and industrial structures, yards and auto uses which may be located in close proximity to residential neighborhoods. This District may also include uses such as restaurants, retail goods establishments, outdoor dining, financial institutions and personal services establishments that complement the daily function of the surrounding heavier M-1 industrial uses in addition to buffering nearby residential uses.

BIP District Bulk and Yard Regulations

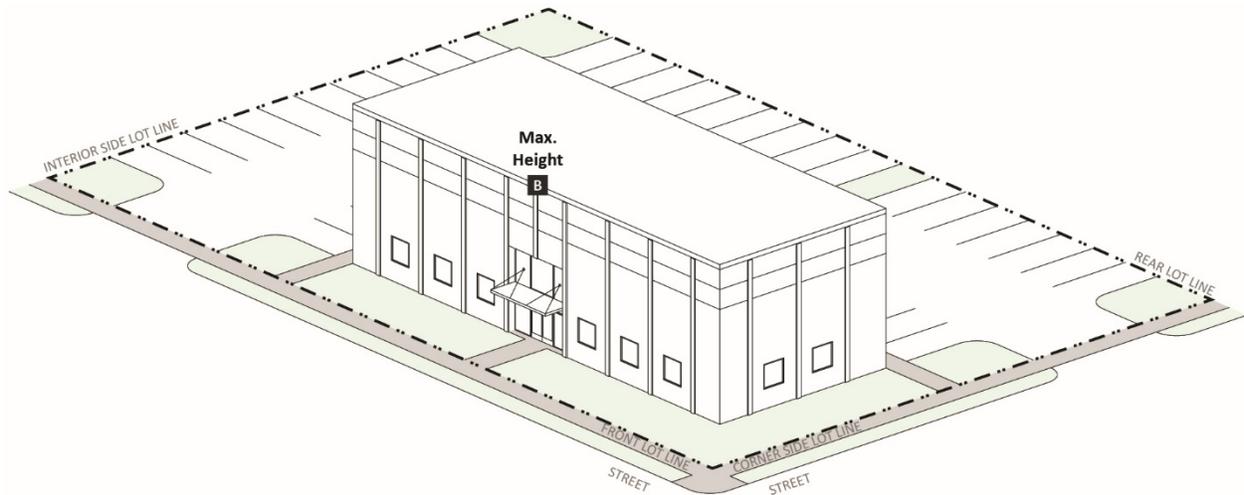
See Table 9.2: Office Park and Manufacturing Zoning Districts Bulk and Yard Regulations

Bulk Regulations		
	Minimum Lot Area	5,000 sq ft
A	Minimum Lot Width	50 ft
B	Maximum Principal Building Height	45 ft, no more than 4 stories
	Design Standards	<i>See Office Park and Manufacturing District Design Standards</i>
Yard Regulations		
C	Minimum Front Yard	15 ft
D	Minimum Interior Side Yard	10 ft if non-residential use abutting non-residential use or district, or 25 ft if abutting residential use or district
E	Minimum Corner Side Yard	15 ft
F	Minimum Rear Yard	20 ft if non-residential use abutting non-residential use or district, or 30 ft if abutting residential use or district

BIP District Bulk and Yard Regulations: Plan View



BIP District Bulk and Yard Regulations: 3-D View



M-1 General Manufacturing Zoning District

See Section 9 of Village of Maywood Zoning Ordinance

Purpose Statement

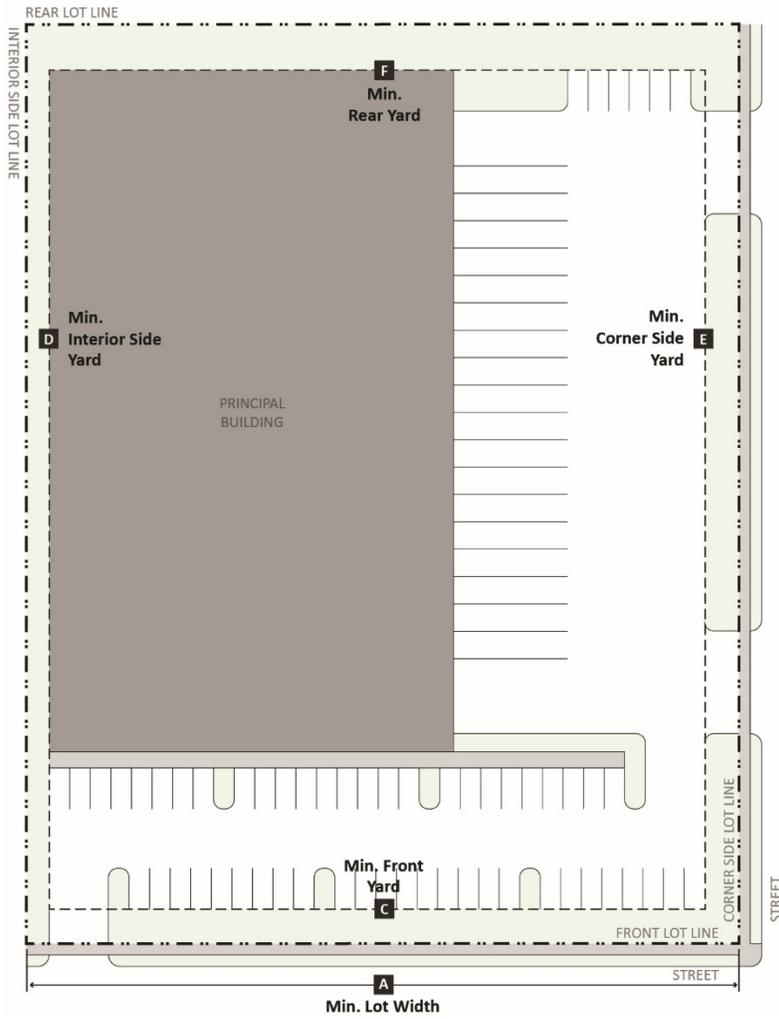
The purpose of the M-1 General Manufacturing Zoning District is to provide for fabrication and assembly-type manufacturing and general industrial uses, as well as warehousing, storage, office, and research and development facilities. Development standards are intended to buffer surrounding non-industrial uses from the impact of the industrial uses within the district.

M-1 District Bulk and Yard Regulations

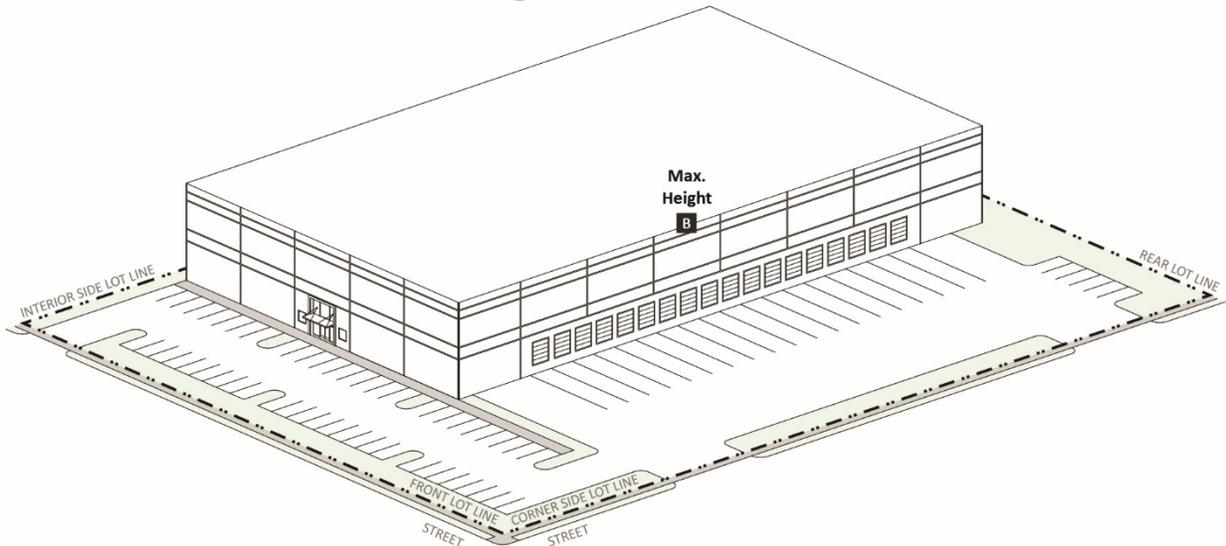
See Table 9.2: Office Park and Manufacturing Zoning Districts Bulk and Yard Regulations

Bulk Regulations		
	Minimum Lot Area	20,000 sf
A	Minimum Lot Width	100 ft
B	Maximum Principal Building Height	45 ft, 4 stories
	Design Standards	See Office Park and Manufacturing District Design Standards
Yard Regulations		
C	Minimum Front Yard	15 ft
D	Minimum Interior Side Yard	10 ft if non-residential use abutting non-residential use or district, or 25 ft if abutting residential use or district
E	Minimum Corner Side Yard	15 ft
F	Minimum Rear Yard	20 ft if non-residential use abutting non-residential use or district, or 30 ft if abutting residential use or district

M-1 District Bulk and Yard Regulations: Plan View



M-1 District Bulk and Yard Regulations: 3-D View



Office Park and Manufacturing District Design Standards

See Section 9.4 of Village of Maywood Zoning Ordinance for additional design standards, including building materials and façade colors

Façade Articulation, Roof Design, and Site Layout: 3-D View

Facade Articulation

All façades shall incorporate at least two of the following architectural features:

- A** CHANGES IN WALL PLANE (MIN. DEPTH 1')
- B** REVEALS
- C** WINDOWS AND OPENINGS
- D** CHANGES IN COLOR, TEXTURE, AND/OR MATERIAL

Roof Design

Decorative roof elements shall be used to enhance roof edges and define public entrances, waiting areas, main pedestrian routes, or activity areas

Unified Design

Accessory structures shall be incorporated into the overall design of the project and the main structures on the site

Parking Location

The parking lot shall not be the dominant visual element along the primary roadway

Public Entrance Location

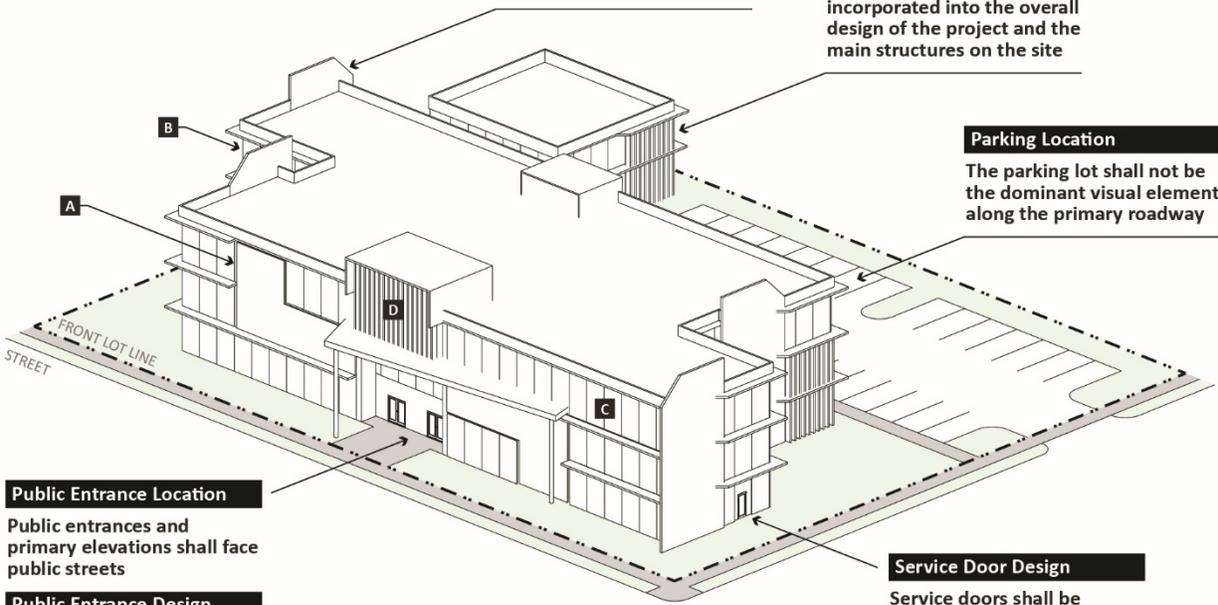
Public entrances and primary elevations shall face public streets

Public Entrance Design

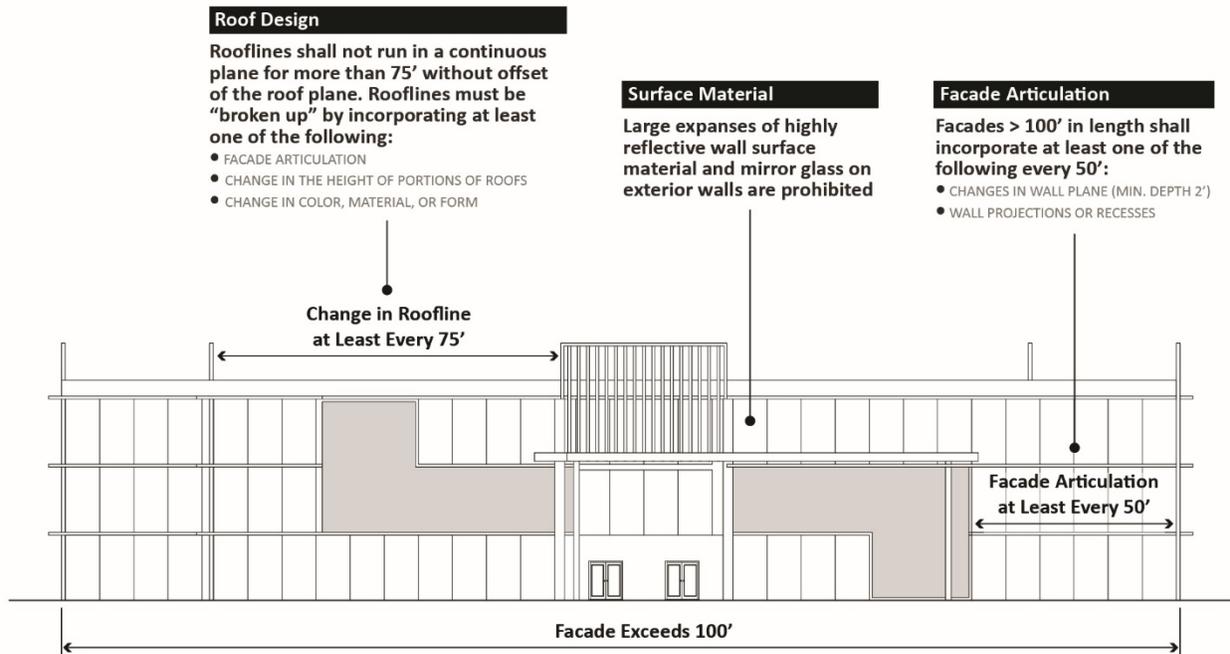
Main entrances shall be well-defined

Service Door Design

Service doors shall be recessed and integrated into the overall design of the structure



Façade Articulation and Roof Design: Elevation View



Fences

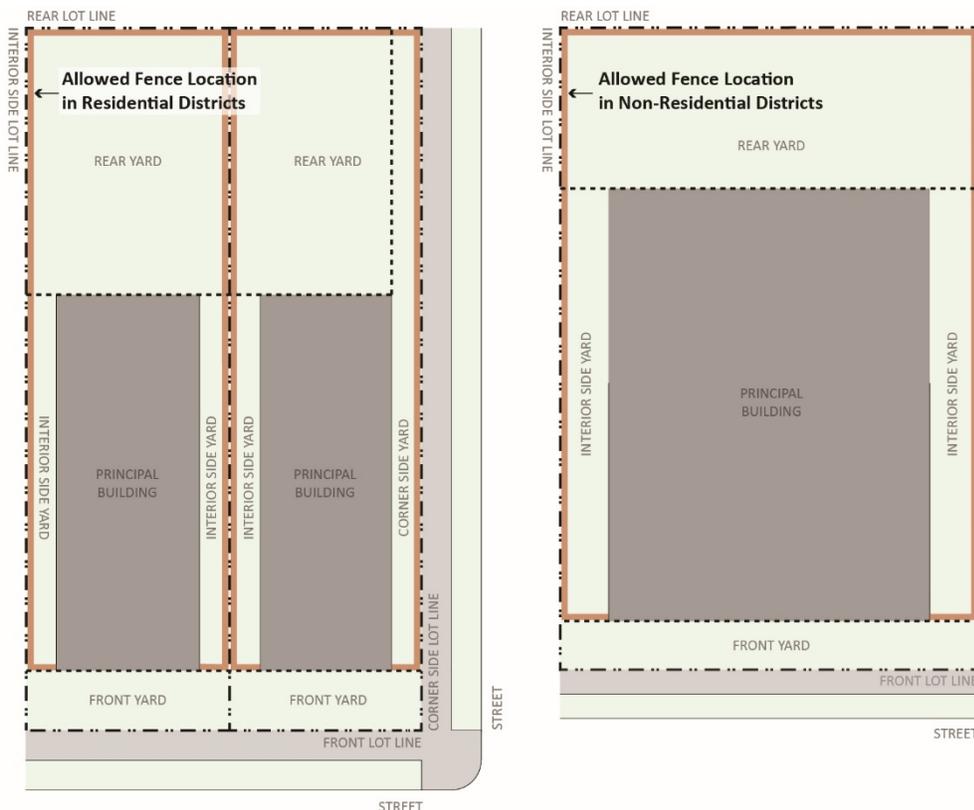
See Section 12.4-C of Village of Maywood Zoning Ordinance

Fence Regulations¹

	Residential Districts	Non-Residential Districts
Location	Interior side, corner side, and rear yards	Interior side and rear yards
Other Position Requirements	<ol style="list-style-type: none"> 1. Fences are prohibited between the front lot line and the front of the principal building. 2. All interior side yard fences must be located behind the front of the principal building. 	Fences are prohibited between the front lot line and the front of the principal building, and between the corner side lot line and the side of the principal building.
Maximum Height	6 ft	6 ft
Construction & Design Requirements	<ol style="list-style-type: none"> 1. The finished side of all fences shall face away from the lot on which it located. Both sides of all fences shall be similar in design, construction and appearance. 2. Every fence shall be constructed with supporting posts or structural parts located on the interior side of the fence. 3. A fence, including all posts, bases, and other structural parts, shall be located completely within the boundaries of the lot on which it is located. 	

¹Table does not include materials requirements.

Fence Location: Residential and Non-Residential Districts



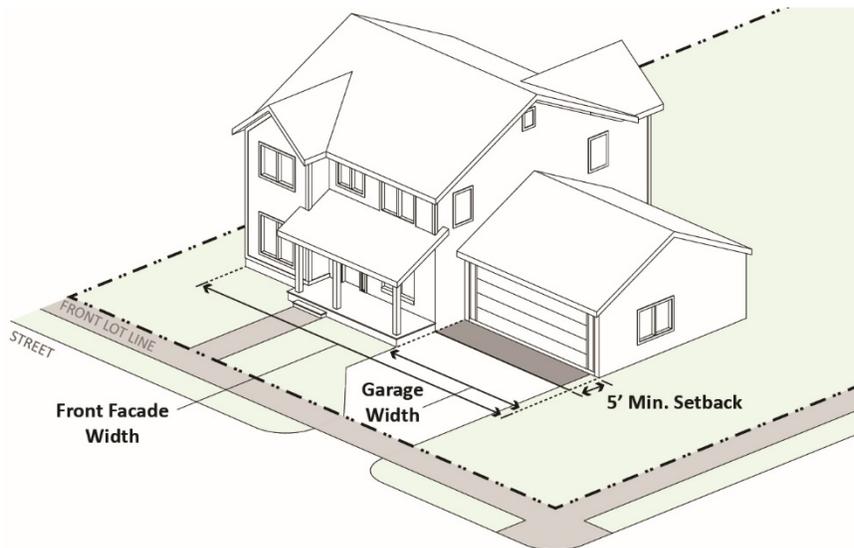
Garages

See Section 12.4-D of Village of Maywood Zoning Ordinance

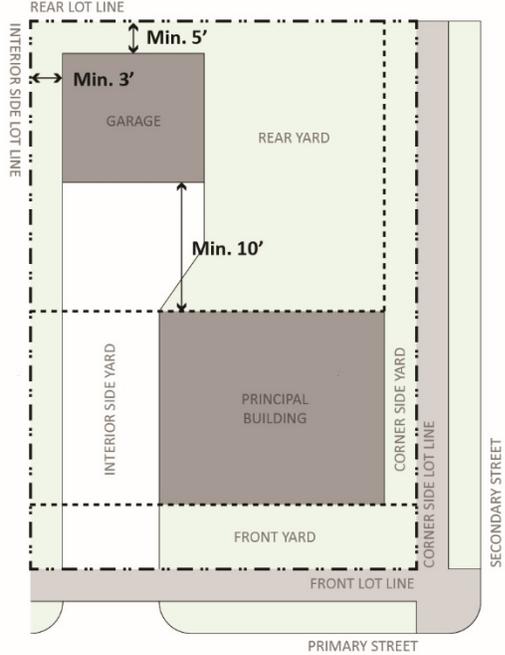
Residential Garage Regulations

	Front-Loaded Attached Garages	Detached Garages
Location	Minimum 5 ft behind the main front façade of the house	<ol style="list-style-type: none"> 1. Permitted in rear and interior side yards 2. Minimum 5 ft from rear lot line 3. Minimum 3 ft from interior side lot line 4. Minimum 10 ft from the principal structure 5. If lot has been expanded due to an alley vacation, the garage may be located up to the original property line, but must meet all required yard setbacks of the expanded lot
Size	Shall not occupy more than 50% of the width of the front façade of the house	Shall not exceed 660 sq ft in area and 16 ft in height, as measured from the garage floor to the peak of a pitched roof
Design Requirements & Uses	<ol style="list-style-type: none"> 1. Windows, doors, and roof treatments facing the street shall incorporate architectural detail similar or complementary to the residence. 2. Upper level dormers, pitched roof elements, garage openings, windows, columns, trims, decorative paneling, and color shall be used to de-emphasize the visual impact of the garage. 	The area above the vehicle parking spaces may be utilized for storage, but not living space and may not contain a kitchen, bathroom, or sleeping area

Front-Loaded Attached Garage Regulations: 3-D View



Detached Garage Regulations: Plan View



Driveways

See Section 13.7-C of Village of Maywood Zoning Ordinance

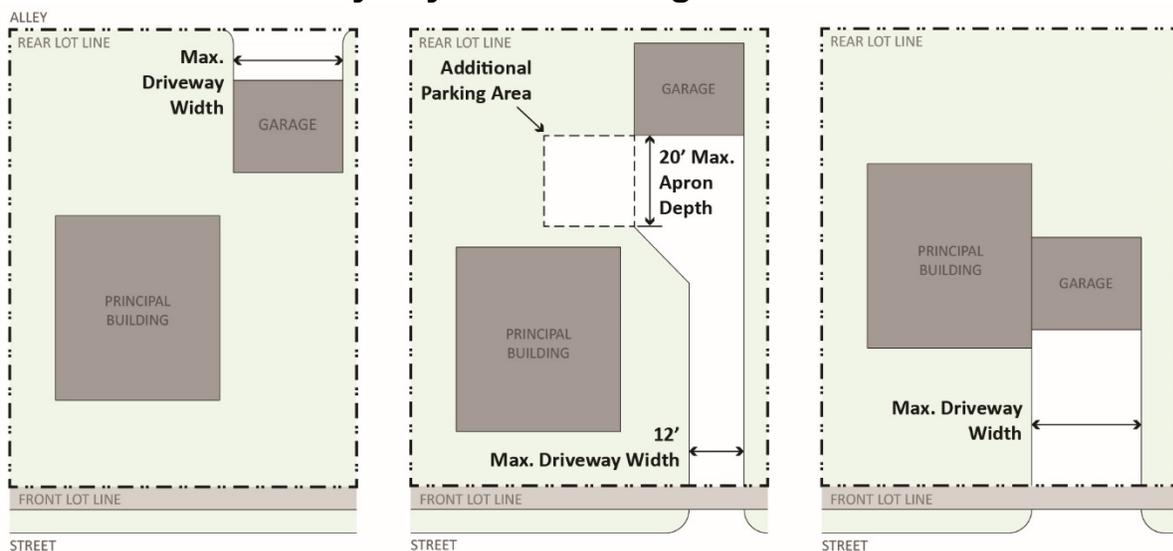
Driveway Regulations for Single-Family & Two-Family Dwellings¹

	Detached Garage with Alley	Detached Garage without Alley	Attached Garage
Location ²	Minimum 1 ft from the side lot line	Minimum 1 ft from the side lot line	Minimum 1 ft from the side lot line
Quantity	Maximum of 1 driveway curb cut per zoning lot	Maximum of 1 driveway curb cut per zoning lot	Maximum of 1 driveway curb cut per zoning lot
Maximum Driveway Width	12 ft, or width of the garage if garage is located within 10 ft from alley lot line	12 ft	Width of the garage
Maximum Driveway Approach Width	5 ft more than the driveway width, as measured at the property line	-	-
Maximum Apron Depth	20 ft	20 ft	20 ft
Additional Parking Areas	-	A paved parking pad is permitted in the rear yard with special use permit.	-
Driveway Replacement	-	An existing driveway shall be allowed to be replaced, even if over the allowable impervious surface requirement. Additional parking areas shall not be allowed to be replaced.	-

¹Table does not include surfacing, striping, curbing and bumper stops, or drainage and grading requirements.

²A residential driveway may be located on the lot line if it physically abuts a driveway on the adjacent lot.

Residential Driveway Layout and Design: Plan View

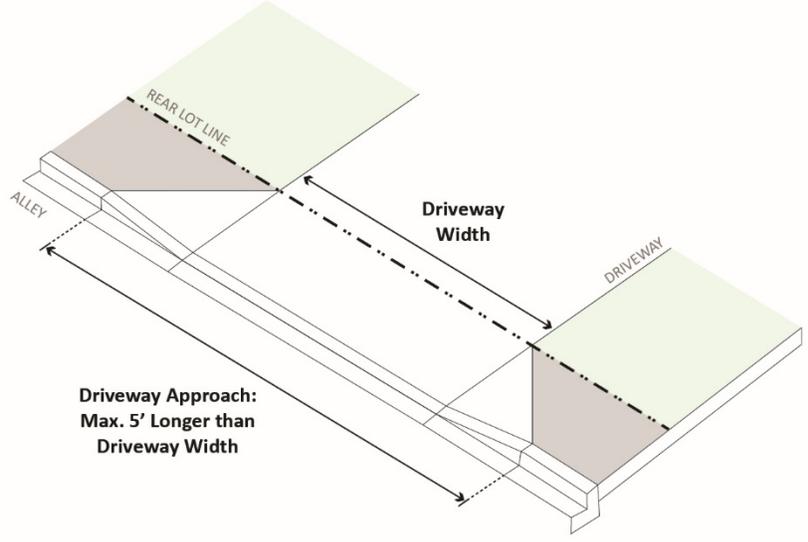


Detached Garage with Alley

Detached Garage without Alley

Attached Garage

Detached Garage with Alley: Driveway Approach Width Measurement



Renewable Energy Features

Solar Panels

See Section 12.4-L of Village of Maywood Zoning Ordinance

Solar Panel Regulations

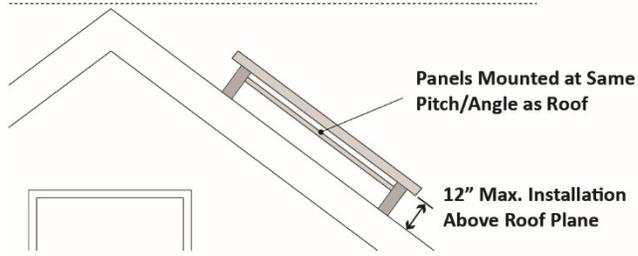
	Freestanding System ¹	Roof-Mounted System
Location	Permitted in all zoning districts, rear and interior side yards	Permitted in all zoning districts, positioned within the field of the roof plane without any overhang
Visibility	Panels shall be fully enclosed and screened by a yard fence	<p>Panels installed on a sloped roof shall not be visible from the public right of way (other than a public alley) unless:</p> <ol style="list-style-type: none"> 1. Panels are mounted at the same pitch/angle as the roof. 2. Area of installation is less than the roof section where the system is mounted. 3. Panels shall not be installed more than 12 inches above the roof plane. 4. Panels do not extend vertically above the ridge of a sloped roof.
Maximum Height	6 ft above the ground	5 ft above the roof surface, panels shall not project higher than the permitted building height
Design Requirements ²	<ol style="list-style-type: none"> 1. Glare shall be minimized by directing panels away from adjoining properties and/or by the use of non-glare glazing. 2. Systems shall not be used for displaying advertisements, and no identification shall be visible from a property line. 3. Systems shall use materials, colors, textures, screening, and landscaping to blend the system into the natural setting and existing environment. 	
Permit	Permit fees shall be waived for systems that are not visible from the public right of way.	

¹Freestanding solar panels related to governmental, traffic and service uses, such as solar-powered traffic speed display devices or solar-powered parking meters, are exempt from the location, visibility, and height requirements.

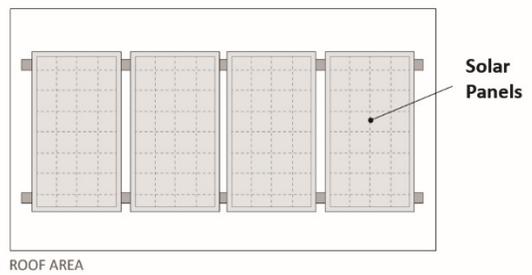
²Dismantling of a solar energy system is required if it has not been in operation for a year.

Roof-Mounted Solar Panel Visibility Regulations: Sloped Roof

Panels Do Not Extend Vertically Above Roof Ridge

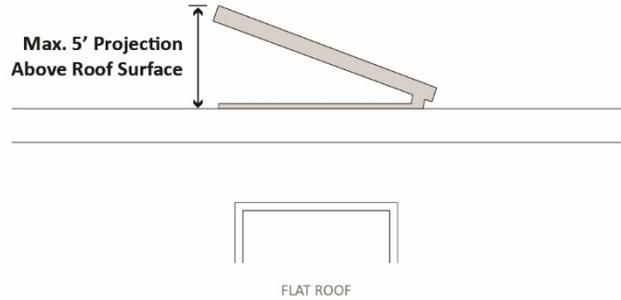
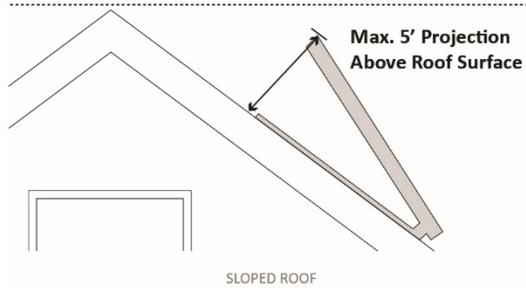


Installation Area < Roof Section



Roof-Mounted Solar Panel Height Measurements: Sloped and Flat Roofs

Projection Not To Exceed Permitted Building Height



Wind Turbines

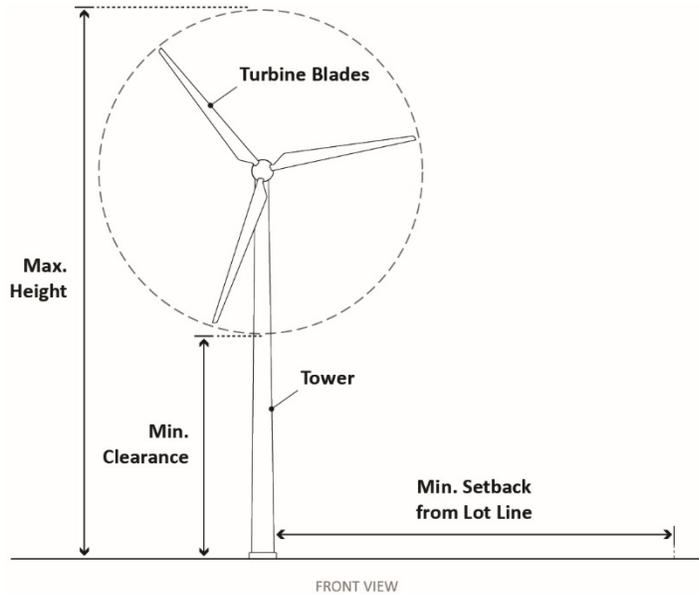
See Section 12.4-N of Village of Maywood Zoning Ordinance

Wind Turbine Regulations¹

	Ground-Mounted System	Roof-Mounted System
Quantity	Maximum of one per property	Maximum of one per property
Location	Rear yard	-
Minimum Setback from Lot Lines	Tower: Distance equal to the height of the tower All other structural pieces: 10 ft	-
Maximum Height	Height limit of the applicable zoning district	Principal structure: Height limit of the applicable zoning district Detached accessory structure: 15 ft above the maximum permitted height for the structure
Minimum Clearance	10 ft	10 ft
Blade Rotation Speed	System must be equipped with manual and automatic over-speed controls	System must be equipped with manual and automatic over-speed controls
Maximum Noise Level	60 dBA	60 dBA

¹Table does not include certification or permit requirements.

Ground-Mounted Wind Turbine Regulations: Front View



Signs

Awning Signs

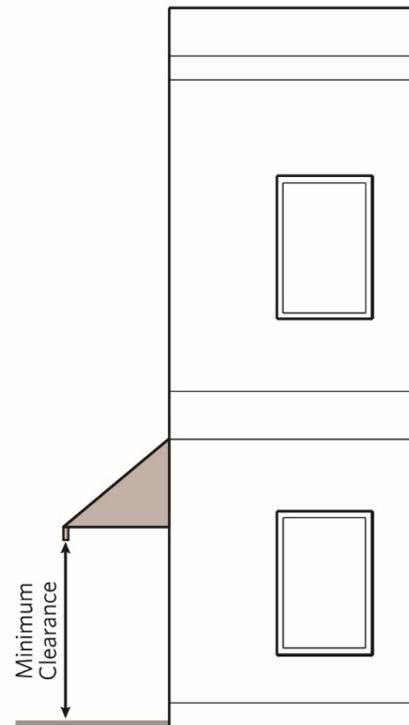
See Section 15.10-A of Village of Maywood Zoning Ordinance for full list of standards

Awning Sign Regulations

Location
<ol style="list-style-type: none"> 1. Awning signs are permitted for multi-family residential and non-residential uses in any district. 2. Awning signs must maintain a minimum clearance of eight feet. 3. Awning must not extend beyond a point two feet from the curb line.
Size
Printing on any awning sign is limited to 10 inches in height.
Design Standards
<ol style="list-style-type: none"> 1. Awning signs shall be constructed out of canvas or canvas-like material. 2. When feasible, awnings shall be generally aligned with others nearby in order to maintain a sense of visual continuity. 3. Awnings shall fit the opening of the building and be positioned so that distinctive architectural features remain visible.



Front View



Side View

Canopy Signs

See Section 15.10-A of Village of Maywood Zoning Ordinance for full list of standards

Canopy Sign Regulations

Location
<ol style="list-style-type: none"> 1. Canopy signs are permitted for multi-family residential and non-residential uses in any district. 2. Canopy signs must maintain a minimum clearance of eight feet. 3. Canopy signs must not extend beyond a point two feet from the curb line.
Size
Printing on any canopy sign shall not exceed 10 inches in height.
Design Standards
<ol style="list-style-type: none"> 1. Canopy signs shall be constructed out of canvas or canvas-like material. 2. When feasible, canopies shall be generally aligned with others nearby in order to maintain a sense of visual continuity. 3. Canopies shall fit the opening of the building and be positioned so that distinctive architectural features remain visible.

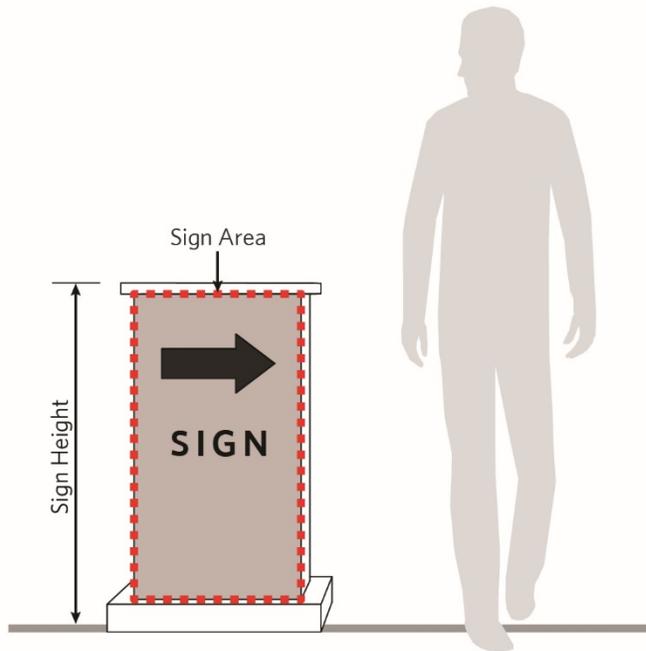


Directional Signs

See Section 15.10-C of Village of Maywood Zoning Ordinance for full list of standards

Directional Sign Regulations

Quantity
One directional sign is permitted for each driveway access from a public street, and one additional directional sign is permitted for each intersection of driveways within a site, to identify traffic routing, entrances and services, such as drive-in lanes.
Location
Directional signs must be located at least three feet from any lot line.
Size
Directional signs are limited to a maximum height of five feet and a maximum surface area of six square feet.
Illumination
Directional signs may be internally illuminated.

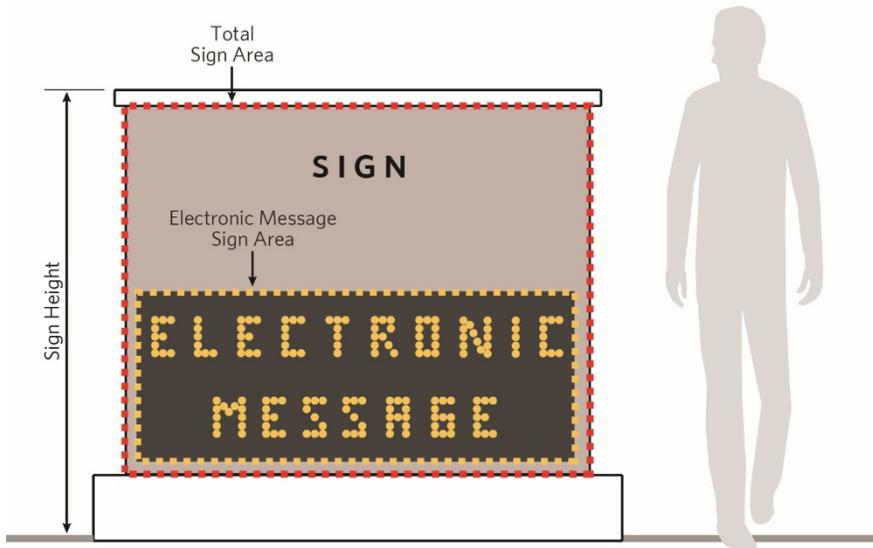


Electronic Message Display Signs

See Section 15.10-D of Village of Maywood Zoning Ordinance for full list of standards

Electronic Message Display Sign Regulations

Location
Electronic message display signs are permitted uses in the OS, I, and GL Districts for governmental, education, and cultural uses, and as a special use in the C-3 District for commercial uses.
Quantity
There shall be only one electronic message display per zoning lot.
Illumination
<ol style="list-style-type: none"> 1. Each message displayed on an electronic message display sign must be static or depicted for a minimum of six seconds. The continuous scrolling of messages is prohibited. 2. No illumination from an electronic message display sign shall glare into any residential premises, or interfere with the safe movement of motor vehicles on public thoroughfares.
Components
Electronic message display signs shall be permitted as components of monument, pole, or wall signs, and shall be subject to the requirements for those sign types.
Size
No electronic message display sign shall exceed 10 square feet.



Marquee Signs

See Section 15.10-F of Village of Maywood Zoning Ordinance for full list of standards

Marquee Sign Regulations

Location
Marquee signs may be permitted in the C-4 District, if a special use permit is granted.
Design Standards
Marquee signs shall be supported solely by the building to which they are attached. No exterior columns or posts shall be permitted as supports.
Size
<ol style="list-style-type: none">1. Marquee signs shall be the width of the building entrance with an additional five feet on each side of the entrance permitted. No marquee sign shall extend beyond the curb line.2. No portion of a marquee shall be less than eight feet above the level of the sidewalk or other public thoroughfare.
Components
No temporary sign shall be attached to or hung from a marquee. No advertising material shall be placed upon the roof of any marquee.

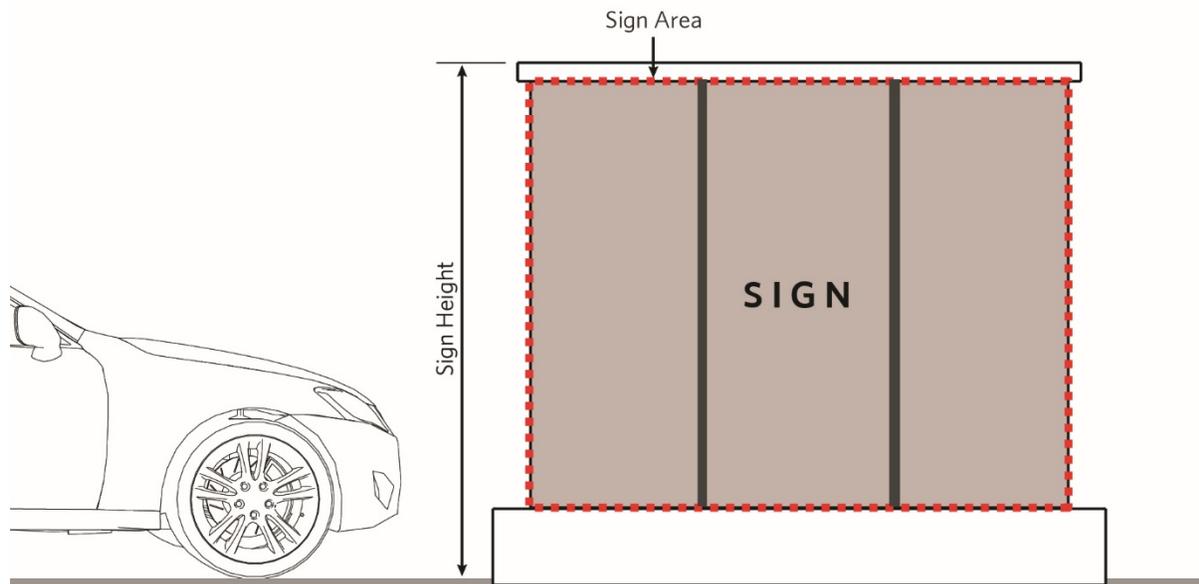


Menu Board Signs

See Section 15.10-C of Village of Maywood Zoning Ordinance for full list of standards

Menu Board Sign Regulations

Location
1. Drive-through establishments are permitted a menu board sign for each drive-through lane. 2. Menu board signs shall be located no less than 15 feet from any lot line.
Components
Menu board signs shall be constructed as monument signs.
Size
Each menu board sign shall be no more than 40 square feet in area and no more than six feet in height.
Illumination
Menu board signs may be internally illuminated.

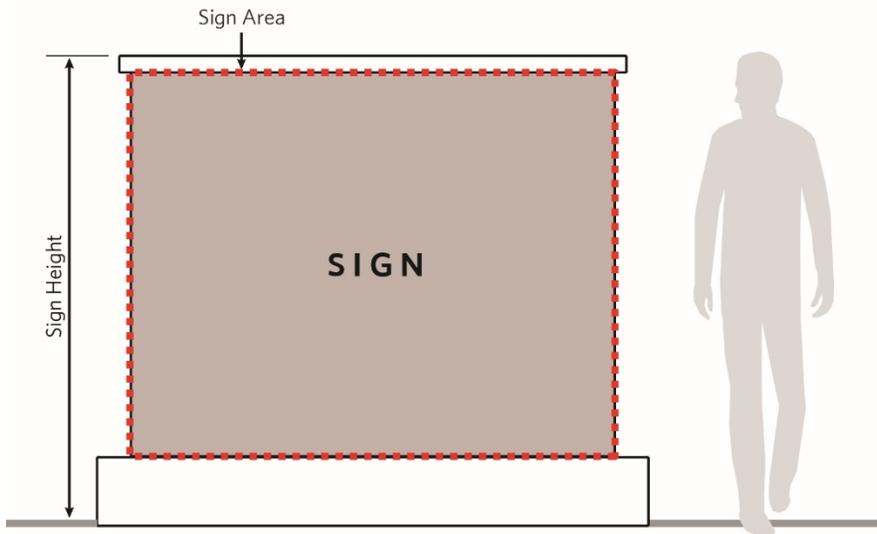


Monument Signs

See Section 15.10-G of Village of Maywood Zoning Ordinance for full list of standards

Monument Sign Regulations

Location
1. Monument signs are permitted in the non-residential districts and for non-residential uses in residential districts. 2. No monument sign shall encroach into the public right-of-way.
Quantity
One monument sign is permitted per street frontage of a zoning lot.
Size
Monument signs shall not exceed 32 square feet in area and six feet in height.
Landscaping
The ground area directly surrounding the base of a monument sign must consist of five square feet of landscaped area around the sign base, unless the monument sign has a decorative base.

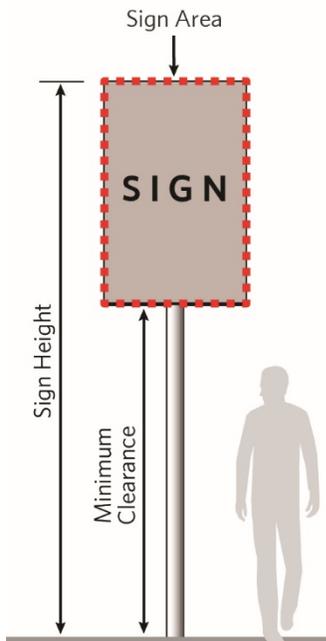


Pole Signs

See Section 15.10-E of Village of Maywood Zoning Ordinance for full list of standards

Pole Sign Regulations

Location
<ol style="list-style-type: none">1. Pole signs are permitted in the C-3, C-4, M-1, BIP, OS, and I Districts.2. No pole sign shall be erected within a distance in all directions equal to 10 feet greater than the sign's height from any utility lines, conductors, or service drops.3. No part of a pole sign shall project into, over, or otherwise encroach on a public right-of-way.
Quantity
There shall be no more than one pole sign in front of a building or buildings which share a common wall. Where a business has frontage on more than one street, one pole sign shall be permitted on each street frontage.
Size
Pole signs shall be limited to 40 square feet in area and 20 feet in height.

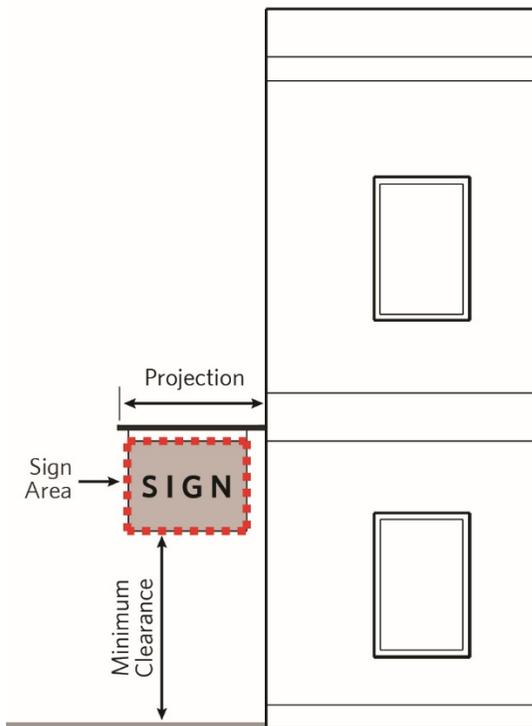


Projecting Signs

See Section 15.10-H of Village of Maywood Zoning Ordinance for full list of standards

Projecting Sign Requirements

Location
<ol style="list-style-type: none">1. Projecting signs are permitted in the C-2 District.2. The bottom of any projecting sign must be at least eight feet above the sidewalk or thoroughfare.3. No projecting sign affixed to a building may project higher than the building height, including the sign support structure.4. Projecting signs shall not project more than three feet from the face of the building to which they are attached, including the area between the sign and the face of the building.
Size
The maximum area of a projecting sign is 24 square feet.
Quantity
One projecting sign per ground floor establishment with frontage on a public street is permitted.

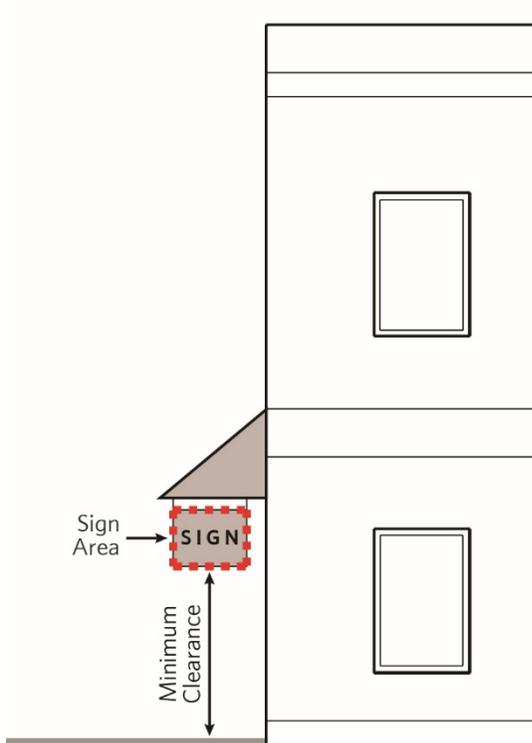


Under-Awning Signs

See Section 15.10-A of Village of Maywood Zoning Ordinance for full list of standards

Under-Awning Sign Regulations

Location
<ol style="list-style-type: none">1. Under-awning signs are permitted in the C-1, C-2, C-3, and C-4 Districts.2. Under-awning signs must be attached to the underside of an awning. Under-awning signs must not project beyond the awning.3. Under-awning signs must maintain a minimum clearance of seven feet.
Quantity
A maximum of one under-awning sign per business establishment with frontage on the street where the awning is mounted is permitted.
Size
Under-awning signs may not exceed three square feet.



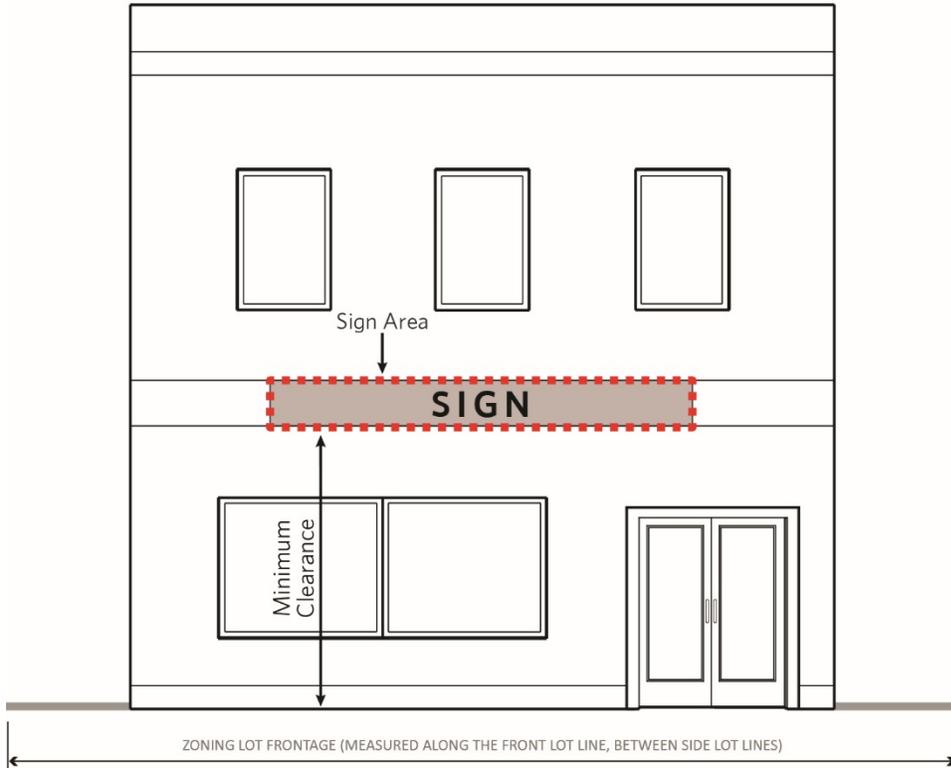
Wall Signs

See Section 15.10-I of Village of Maywood Zoning Ordinance for full list of standards

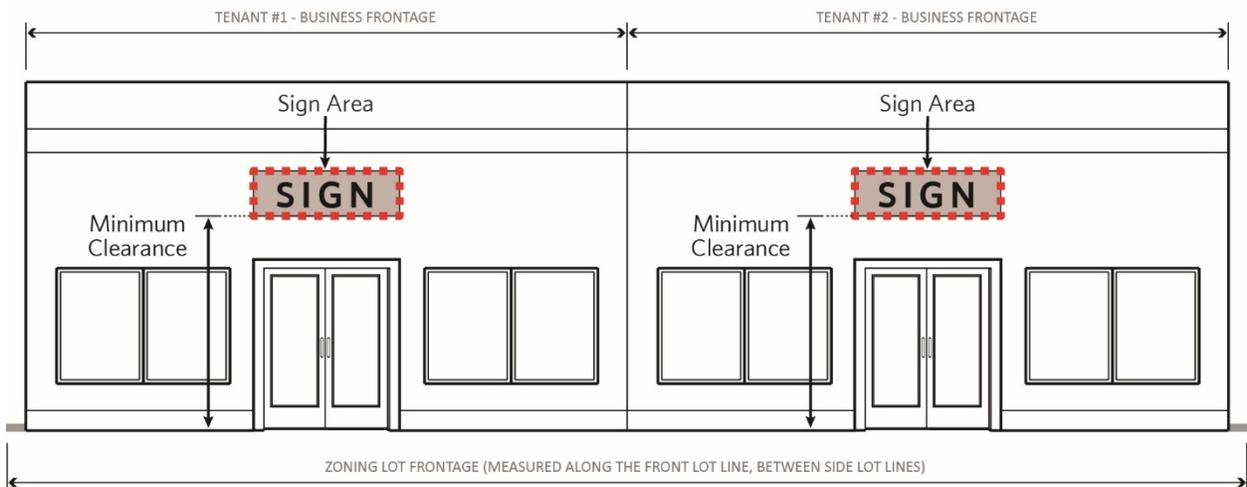
Wall Sign Regulations

Location
Wall signs are permitted in any non-residential district and for non-residential uses in the residential districts.
Interior Lot
The maximum size of a wall sign shall be established at one square foot per linear foot of zoning lot frontage as measured along the front lot line, with a minimum of 25 square feet permitted.
Corner Lot
The maximum size of a wall sign located on each building wall shall be established at one square foot per linear foot of zoning lot frontage as measured along the front or corner side lot line of that building wall, with a minimum of 25 square feet permitted for each sign. The size of a wall sign on each side of the building shall be limited to the square footage calculated on that side only. In no case shall the square footage permitted for the building wall located along the front lot line and the square footage permitted for the building wall located along the corner side lot line be combined to create a larger sign on a wall other than that permitted on each individual wall.
Multi-Tenant Structure
Each tenant shall be permitted a wall sign of one square foot per linear foot of business frontage, with a minimum of 25 square feet permitted for a wall sign for each tenant. In no case, shall the total amount of wall signs on the structure exceed one square foot per linear foot of business frontage or the sum total of 25 square feet per tenant, whichever is greater. If a multi-tenant structure is located on a corner lot, the maximum size of the wall sign located on the wall along the corner lot line shall be limited to one square foot per linear foot of zoning lot frontage as measured along the front lot line, with a minimum of 25 square feet permitted.
Size
No wall sign shall exceed 100 square feet.
Design Standards
<ol style="list-style-type: none"> 1. Wall signs shall be attached to the building wall at no less than eight feet above the ground. Wall signs must be affixed flat against the building wall and must not project more than 12 inches from the building wall. 2. No wall sign affixed to a building, including sign support structure, may project beyond the ends or top of the wall to which it is attached. 3. No wall sign shall cover, wholly or partially, any wall opening.

Wall Sign: Interior or Corner Lot



Wall Sign: Multi-Tenant Structure

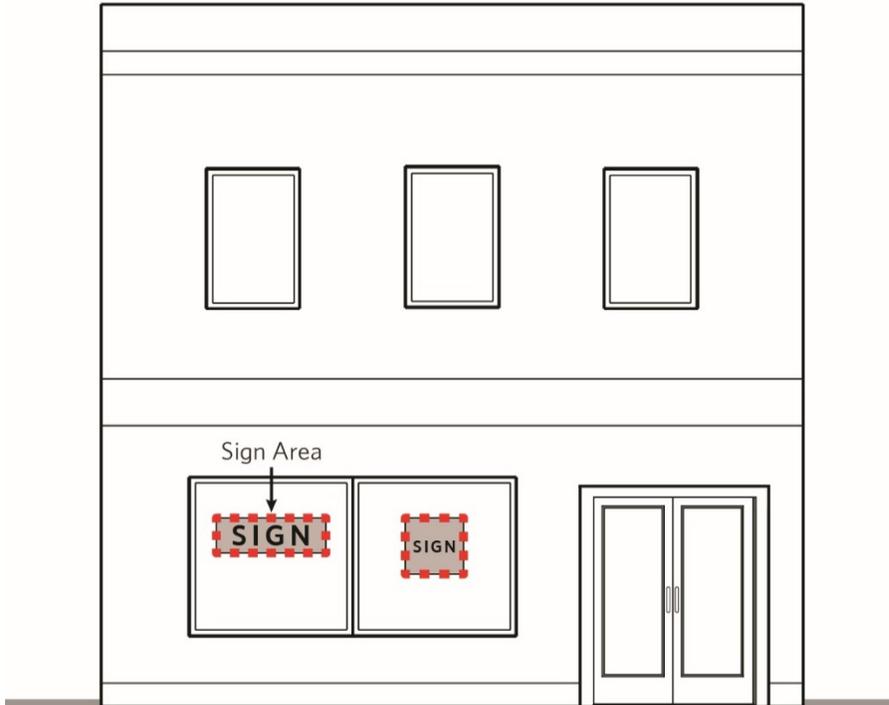


Window Signs

See Section 15.10-J of Village of Maywood Zoning Ordinance for full list of standards

Window Sign Regulations

Location
Window signs are permitted for all non-residential uses.
Size
All window signs, whether temporary, permanent, or neon window signs, shall occupy no more than 50 percent of the surface of each window area. Window area is counted as a continuous surface until divided by an architectural or structural element. Mullions are not considered an element that divides window area.
Display
No handwritten signs, unless professionally created, may be used as a permanent window sign.



Zoning Map

Updated April 2010

